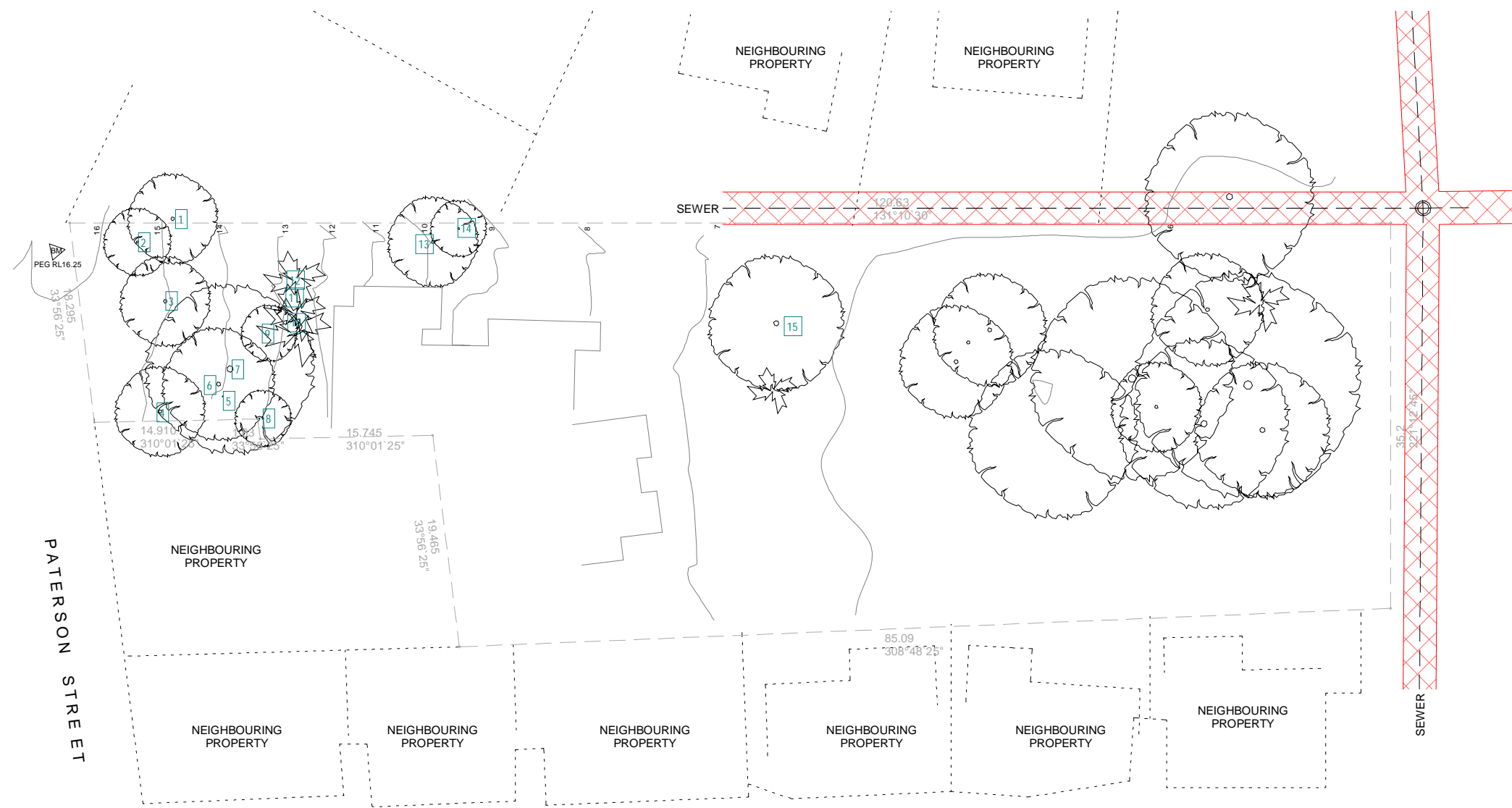


SHEET ISSUE - FOR APPROVALS A3						
SHEET NUMBER	REV	SHEET NAME	STATUS	REV ID	LATEST REVISION DATE	ISSUE DATE
C1.0	D	EXISTING SITE	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.1	D	PROPOSED SITE - ABORIST	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.2	D	PROPOSED SITE / ROOF PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.2.1	D	GROUND FLOOR PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.2.2	D	UPPER FLOOR PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.3	D	SOLSTICE 9AM	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.4	D	SOLSTICE 12PM	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.5	D	SOLSTICE 3PM	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.6	D	SOLTICE (FENCE ONLY)	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.7	D	LANDSCAPING PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.8	D	DEEP SOIL AREAS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C4.1	D	SITE ELEVATIONS - H1-H7	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C4.2	D	SITE ELEVATIONS - T1-T7	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.0	D	SITE LONG SECTIONS - HEIGHT LIMIT - NORTH	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.1	D	SITE LONG SECTION - HEIGHT LIMIT - SOUTH	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.2	D	NORTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.3	D	NORTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.4	D	SOUTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.5	D	SOUTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C7.1	D	ADAPTABLE HOUSING REFERENCE T3,4 & 5	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C7.2	D	ADAPTABLE HOUSING REFERENCE H3	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021

CHRIS CLOUD DESIGN

PATERSON STREET



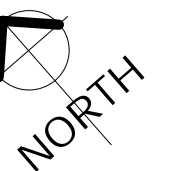
LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

TOTAL SITE AREA
SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS
SITE NET TOTAL - GROUND FLOOR = 764.5m²
SITE NET TOTAL - UPPER FLOOR = 1074.3m²
GRAND NET TOTAL = 1859.8m²

TERRACE & HOUSE AREAS ON SITE
PRIVATE OPEN SPACE SITE TOTAL = 545.4m²



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BSA LICENCE: 1127508



GENERAL NOTES:
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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: **EXISTING SITE**

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: **FOR APPROVALS**

C1.0- D



LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

TOTAL SITE AREA
SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS
SITE NET TOTAL - GROUND FLOOR = **764.5m²**
SITE NET TOTAL - UPPER FLOOR = **1074.3m²**
GRAND NET TOTAL = **1859.8m²**

TERRACE & HOUSE AREAS ON SITE
PRIVATE OPEN SPACE SITE TOTAL = **545.4m²**



RAMPS LANDINGS EVERY 9M AT 1:14, INCLUDE FOR PASSING SPACES EVERY 20M [P]
LIFT AND LANDINGS IN COMPLAICE WITH AS1735.

TRANSFORMER
6M CLEARANCE HORIZONTAL
5M CLEARANCE VERTICAL (FROM PAD)

BIN COLLECTION

LETTERBOXES TO BE 900mm to 1200mm HIGH

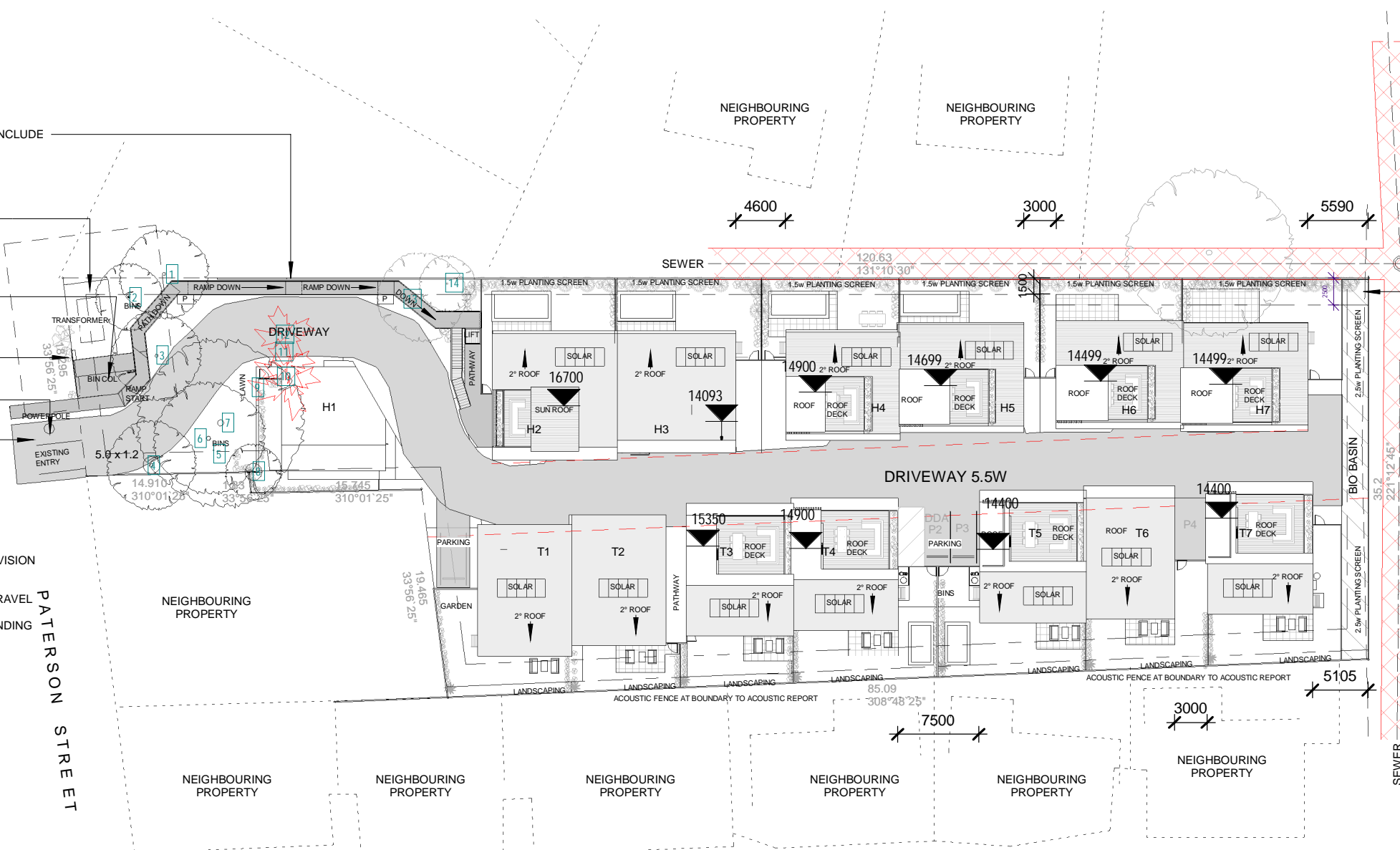
DEMOLISH AND RELOCATE SERVICES

NEW DRIVEWAY CROSSOVER IN ACCORDANCE WITH NORTHERN RIVERS LOCAL GOVERNMENT STD Drg R-05D AND R-06D AND COUNCIL REQUIREMENTS.

CAR PARK TO BE 2.4M X 6M WITH PROVISION FOR ENLARGEMENT TO 3.8M WIDE

CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM STREET FRONTAGE LETTERBOX / BIN TO BE ON HARD STANDING AREA CONNECTED TO PATHWAY

PATERSON STREET



LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

TOTAL SITE AREA

SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS

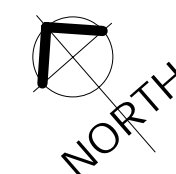
SITE NET TOTAL - GROUND FLOOR = 764.5m²

SITE NET TOTAL - UPPER FLOOR = 1074.3m²

GRAND NET TOTAL = 1859.8m²

TERRACE & HOUSE AREAS ON SITE

PRIVATE OPEN SPACE SITE TOTAL = 545.4m²



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

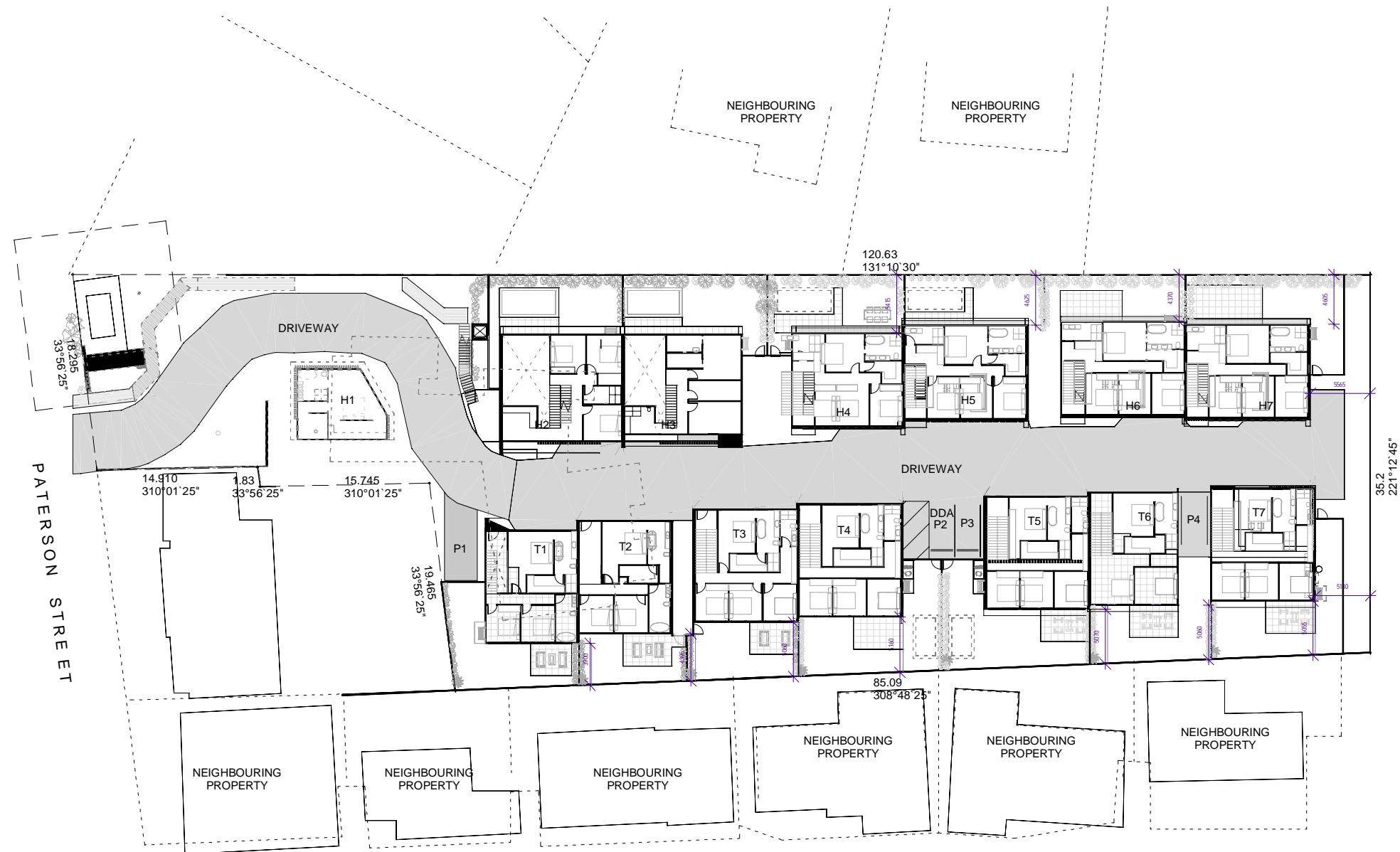
SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: PROPOSED SITE / ROOF PLAN

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: FOR APPROVALS

C1.2 - D



UPPER FLOOR PLAN
SCALE: 1 : 500

LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

SETBACK DIMS

TOTAL SITE AREA
SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS
SITE NET TOTAL - GROUND FLOOR = 764.5m²
SITE NET TOTAL - UPPER FLOOR = 1074.3m²
GRAND NET TOTAL = 1859.8m²

TERRACE & HOUSE AREAS ON SITE
PRIVATE OPEN SPACE SITE TOTAL = 545.4m²



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: UPPER FLOOR PLAN

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: FOR APPROVALS

C1.2.2 - D



LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

9AM SHADOW WINTER SOLSTICE

SCALE: 1 : 500

TOTAL SITE AREA

SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS

SITE NET TOTAL - GROUND FLOOR = 764.5m²

SITE NET TOTAL - UPPER FLOOR = 1074.3m²

GRAND NET TOTAL = 1859.8m²

TERRACE & HOUSE AREAS ON SITE

PRIVATE OPEN SPACE SITE TOTAL = 545.4m²



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: SOLSTICE 9AM

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: FOR APPROVALS

C1.3- D



LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

12PM SHADOW WINTER SOLSTICE
SCALE: 1 : 500

TOTAL SITE AREA
SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS
SITE NET TOTAL - GROUND FLOOR = 764.5m²
SITE NET TOTAL - UPPER FLOOR = 1074.3m²
GRAND NET TOTAL = 1859.8m²

TERRACE & HOUSE AREAS ON SITE
PRIVATE OPEN SPACE SITE TOTAL = 545.4m²





LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY

3PM SHADOW WINTER SOLSTICE
SCALE: 1 : 500

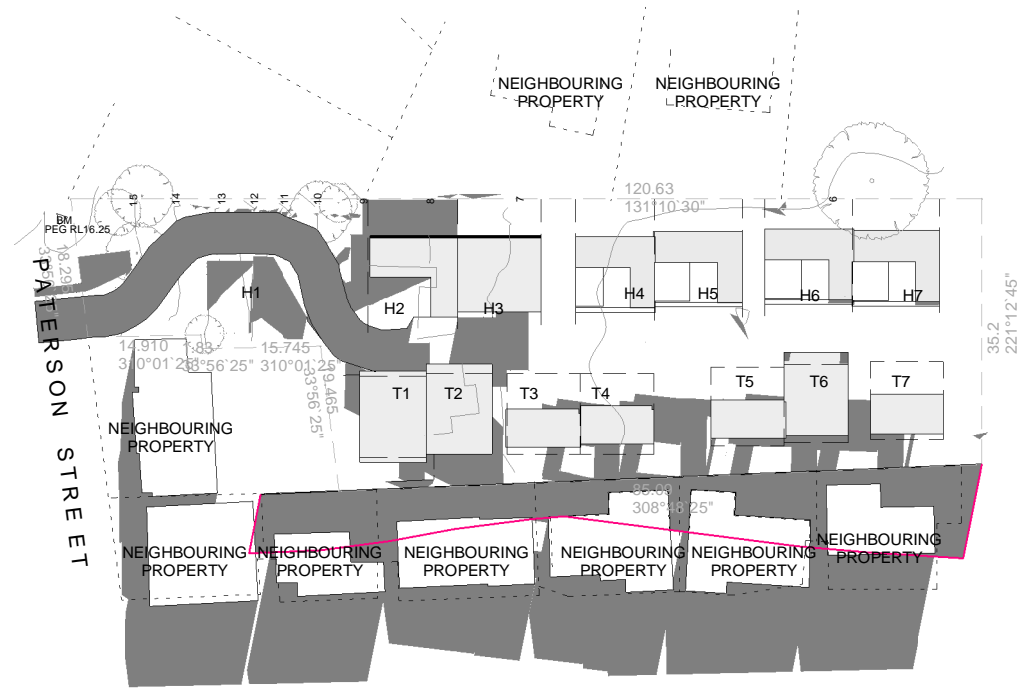
TOTAL SITE AREA
SITE AREA = 3816m²

FSR = 0.488

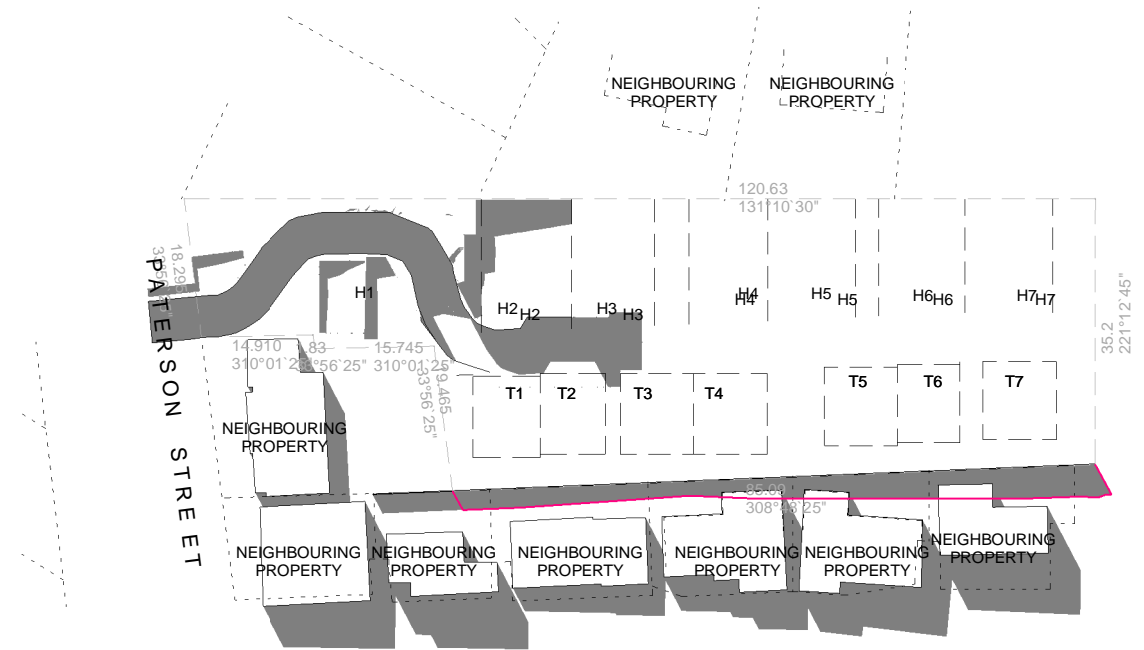
SITE NET AREAS
SITE NET TOTAL - GROUND FLOOR = 764.5m²
SITE NET TOTAL - UPPER FLOOR = 1074.3m²
GRAND NET TOTAL = 1859.8m²

TERRACE & HOUSE AREAS ON SITE
PRIVATE OPEN SPACE SITE TOTAL = 545.4m²

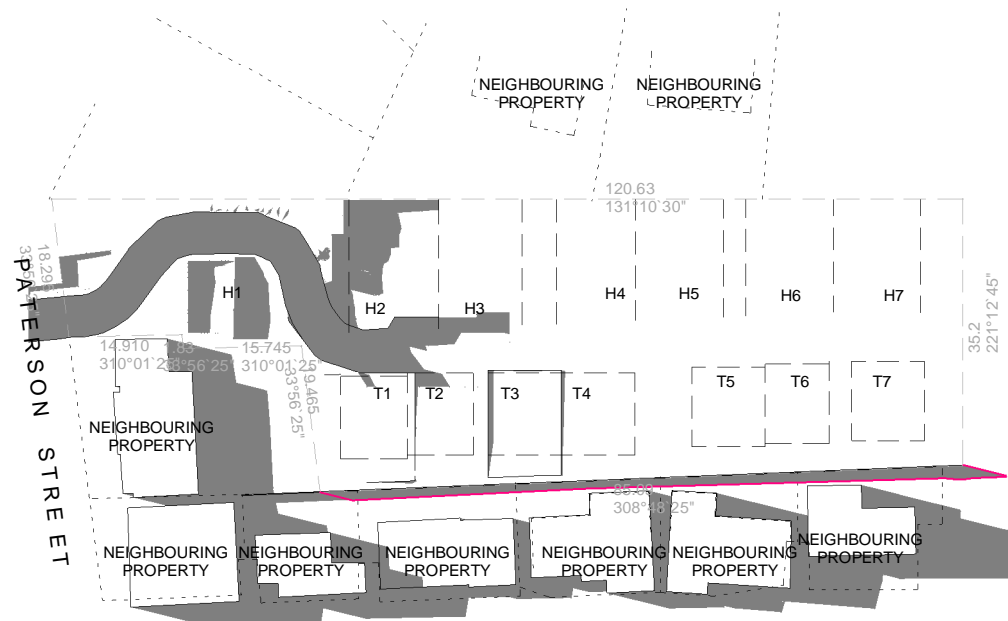




GROUND FLOOR (6M) 9AM SHADOW FENCE ONLY
SCALE: 1 : 1000



GROUND FLOOR (6M) 12PM SHADOW FENCE ONLY
SCALE: 1 : 1000



GROUND FLOOR (6M) 3PM SHADOW FENCE ONLY
SCALE: 1 : 1000



LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY



1519m² COMMON LANDSCAPE AREA

REQUIREMENTS:

COMMON LANDSCAPED AREA = 840m²
DEEP SOIL ZONE = 630m²

TOTAL SITE AREA

SITE AREA = 3816m²

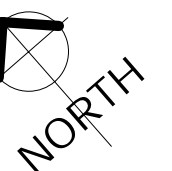
FSR = 0.488

SITE NET AREAS

SITE NET TOTAL - GROUND FLOOR = **764.5m²**
SITE NET TOTAL - UPPER FLOOR = **1074.3m²**
GRAND NET TOTAL = **1859.8m²**

TERRACE & HOUSE AREAS ON SITE

PRIVATE OPEN SPACE SITE TOTAL = **545.4m²**



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: **LANDSCAPING PLAN**

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: **FOR APPROVALS**

C1.7 - D



LOT 101 in DP839601
NO.103 PATERSON STREET,
BYRON BAY



647m² DEEP SOIL ZONE = 16.9%

REQUIREMENTS:

COMMON LANDSCAPED AREA = 840m²

DEEP SOIL ZONE = 630m²

TOTAL SITE AREA

SITE AREA = 3816m²

FSR = 0.488

SITE NET AREAS

SITE NET TOTAL - GROUND FLOOR = **764.5m²**

SITE NET TOTAL - UPPER FLOOR = **1074.3m²**

GRAND NET TOTAL = **1859.8m²**

TERRACE & HOUSE AREAS ON SITE

PRIVATE OPEN SPACE SITE TOTAL = **545.4m²**



GENERAL NOTES:

Use written dimensions only. DO NOT scale drawings. Contractors to verify all dimensions on site prior to commencing works. Site location in accordance with engineers details. These drawings are to be read in conjunction with engineers design and details, the accompanying building specification and schedule of finishes. If in doubt, please request clarification. DO NOT ASSUME.

CLIENT NAME: Planit Consulting on behalf of the proponent

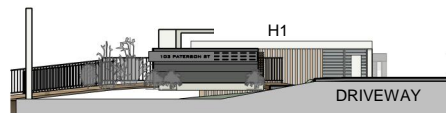
PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

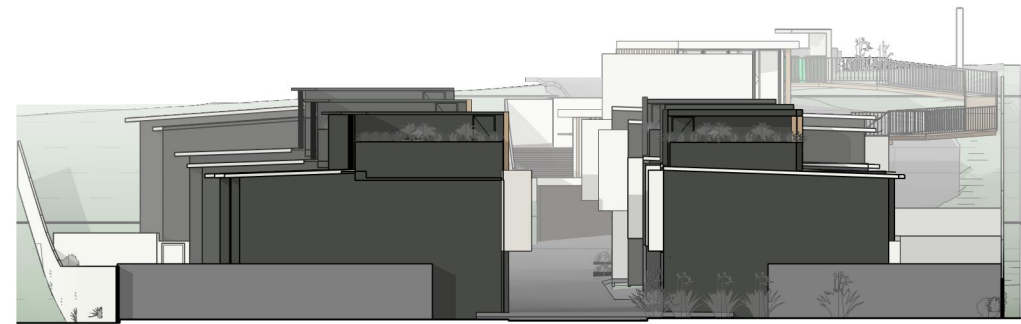
DRAWING TITLE: **DEEP SOIL AREAS**

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: Author

ISSUE: **FOR APPROVALS**



WEST ELEV
SCALE: 1 : 300



EAST ELEV
SCALE: 1 : 300



FRONT OF NORTHERN ASPECT
SCALE: 1 : 300



NORTH ELEV - REAR OF HOUSES
SCALE: 1 : 300





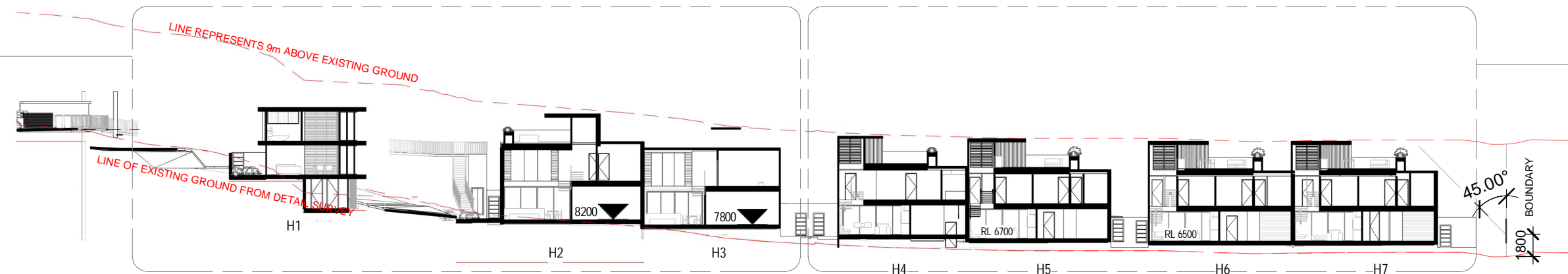
FRONT OF SOUTHERN TERRACES.
SCALE: 1 : 300



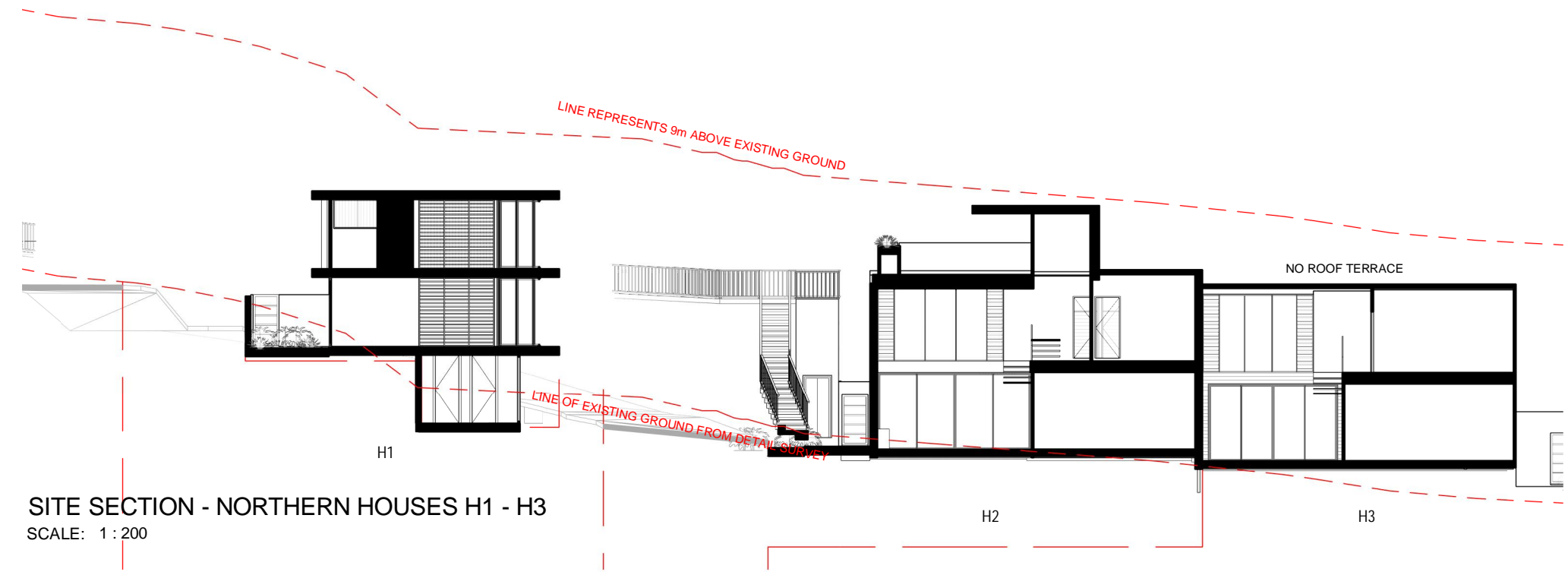
SOUTH ELEV - REAR OF TERRACES
SCALE: 1 : 300

2
C5.0

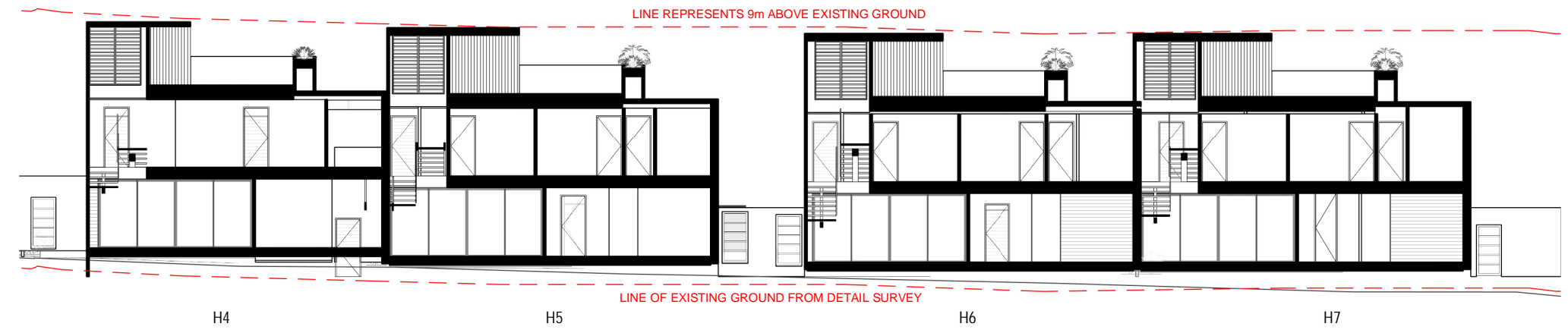
3
C5.0



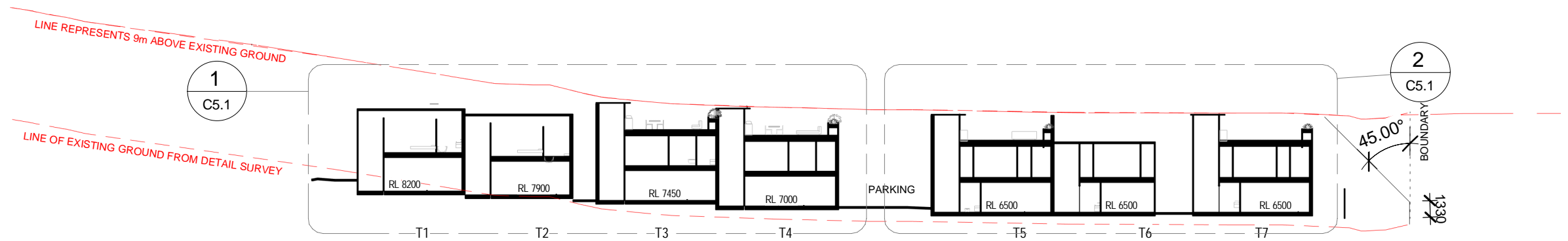
SITE SECTION - NORTHERN HOUSES
SCALE: 1 : 400



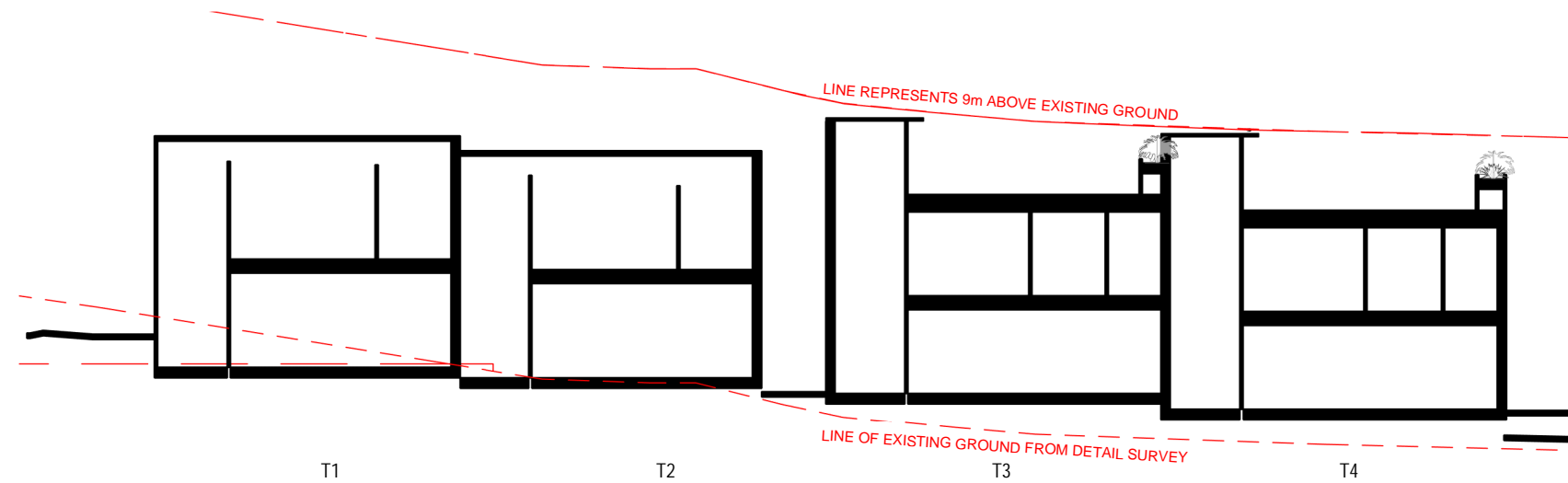
SITE SECTION - NORTHERN HOUSES H1 - H3
SCALE: 1 : 200



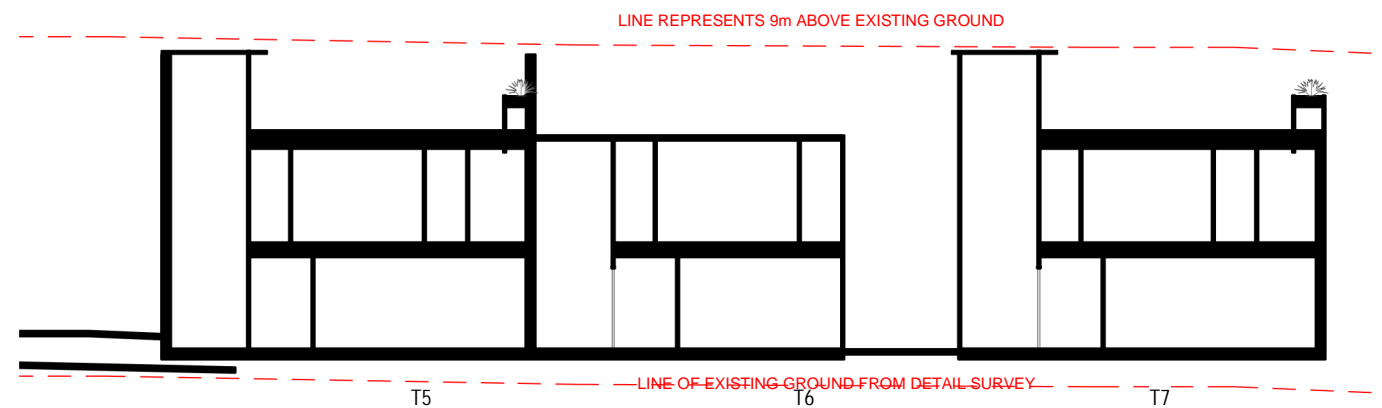
SITE SECTION - NORTHERN HOUSES H4 - H7
SCALE: 1 : 200



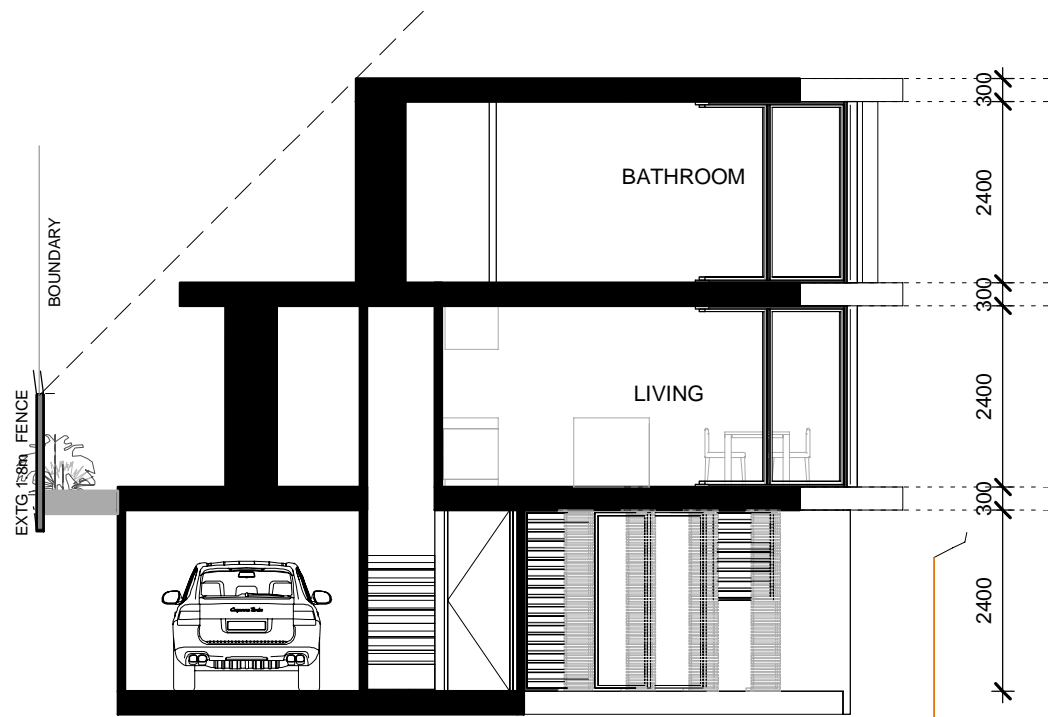
SITE SECTION - SOUTHERN HOUSES
SCALE: 1 : 400



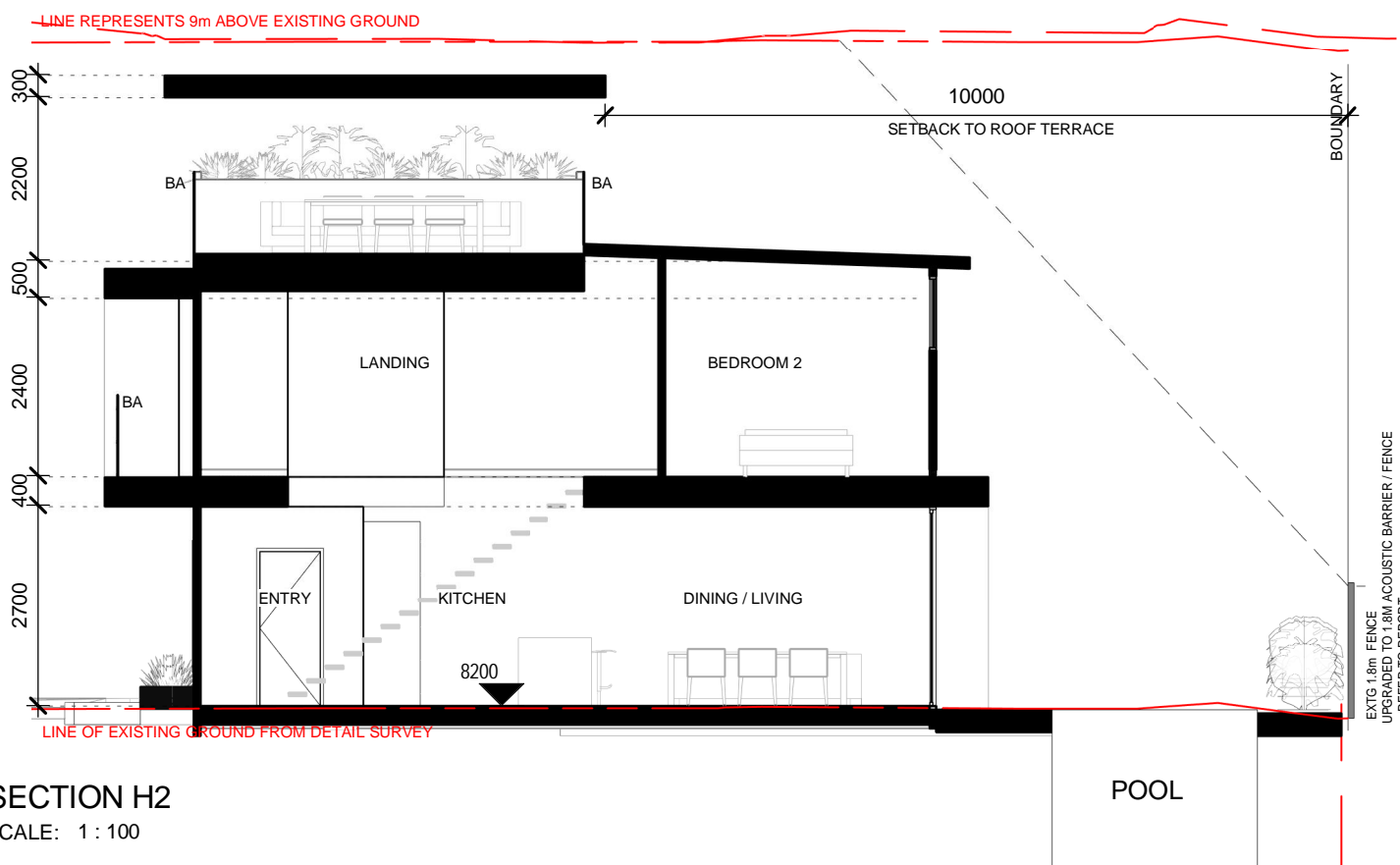
SITE SECTION - SOUTHERN HOUSES - T1 -T4
SCALE: 1 : 200



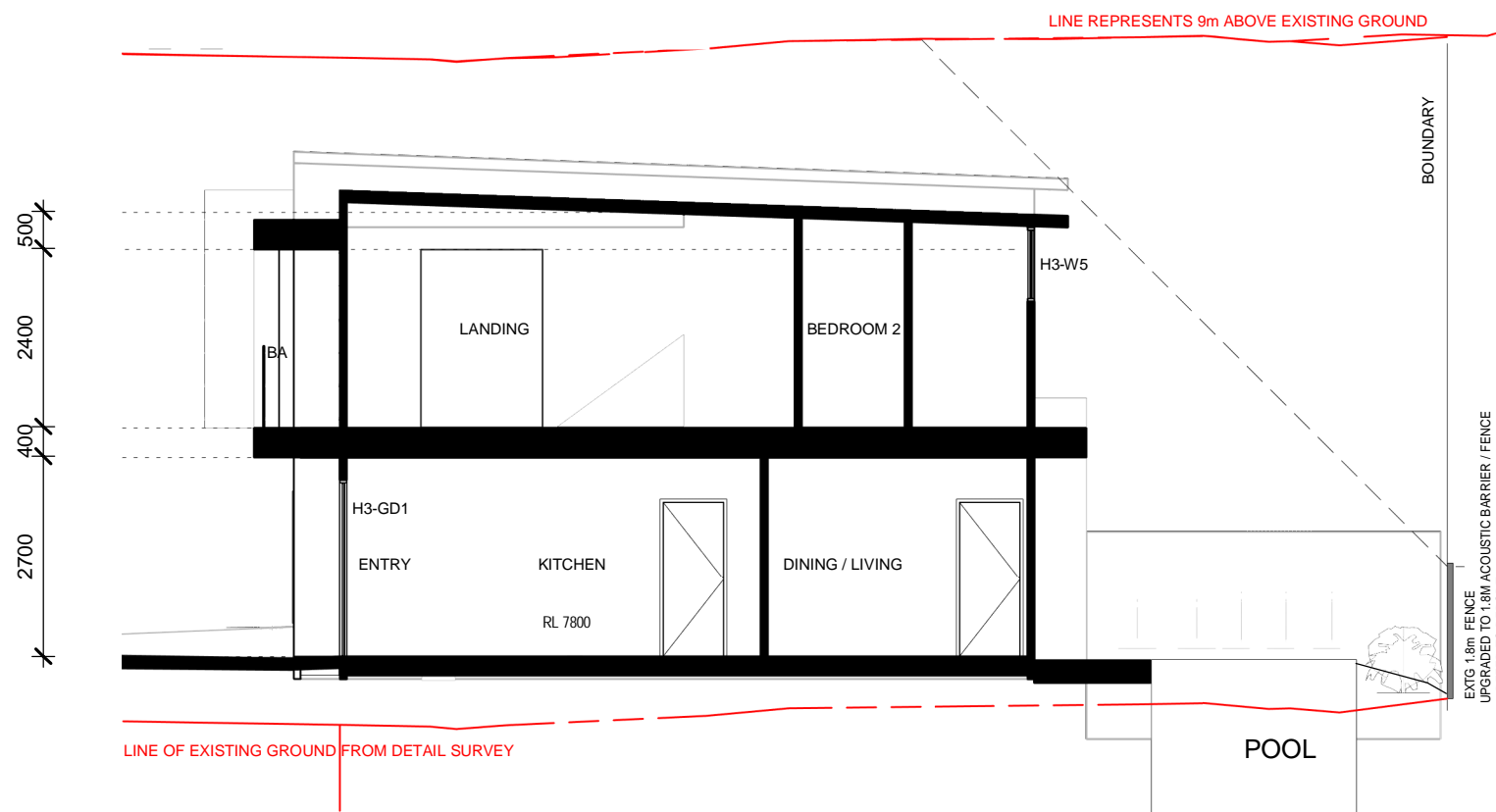
SITE SECTION - SOUTHERN HOUSES - T5 -T7
SCALE: 1 : 200



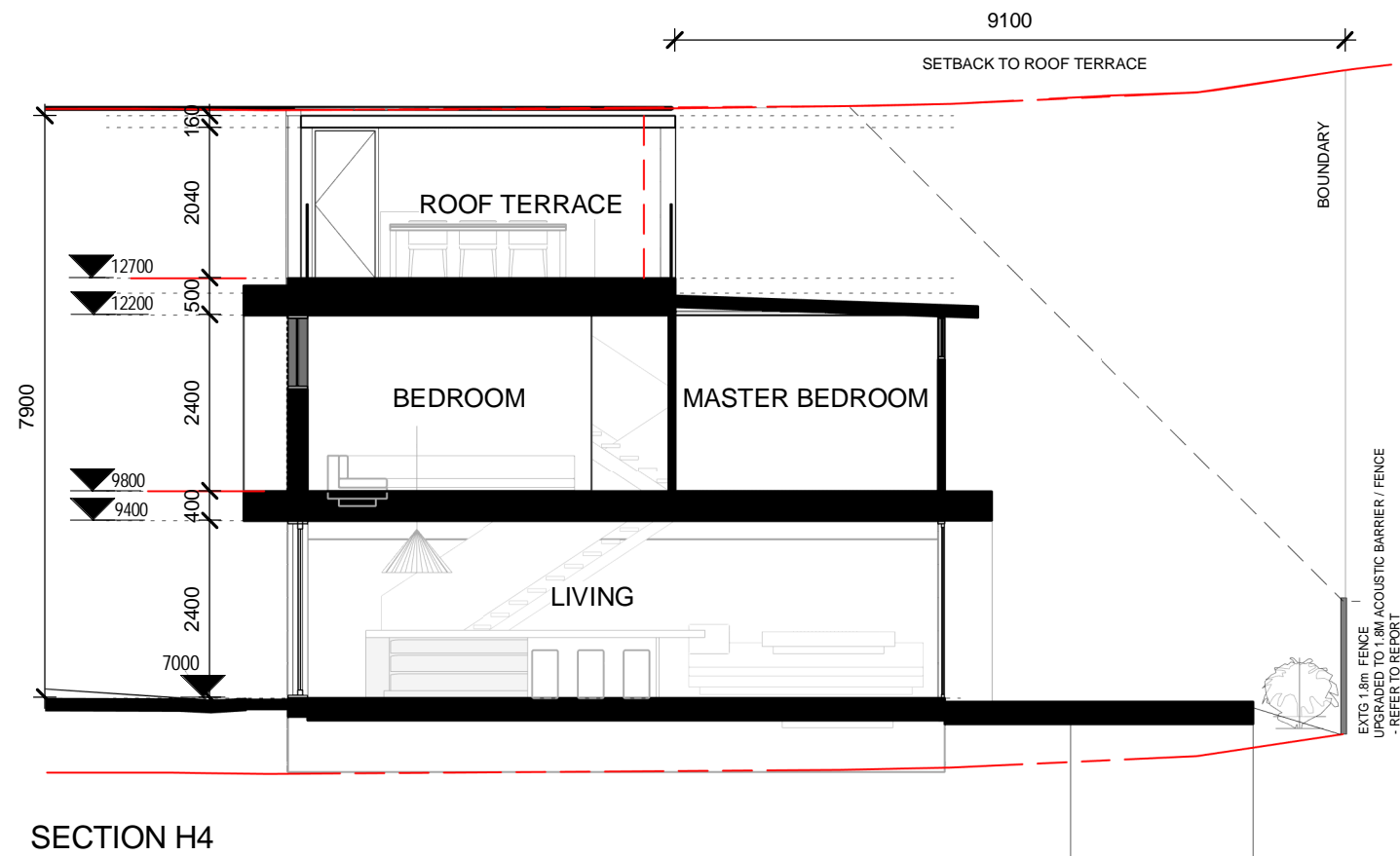
SECTION H1
SCALE: 1 : 100



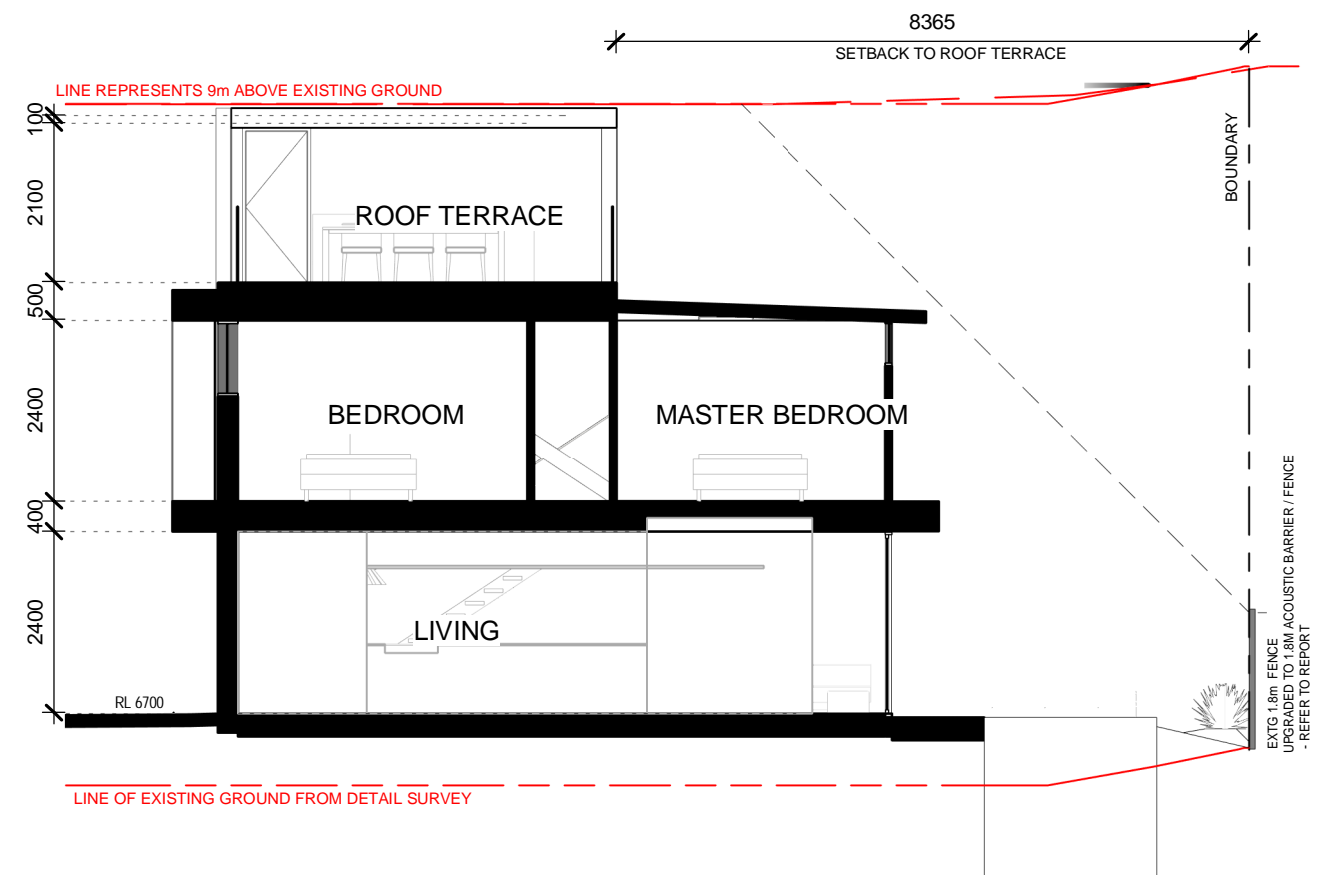
SECTION H2
SCALE: 1 : 100



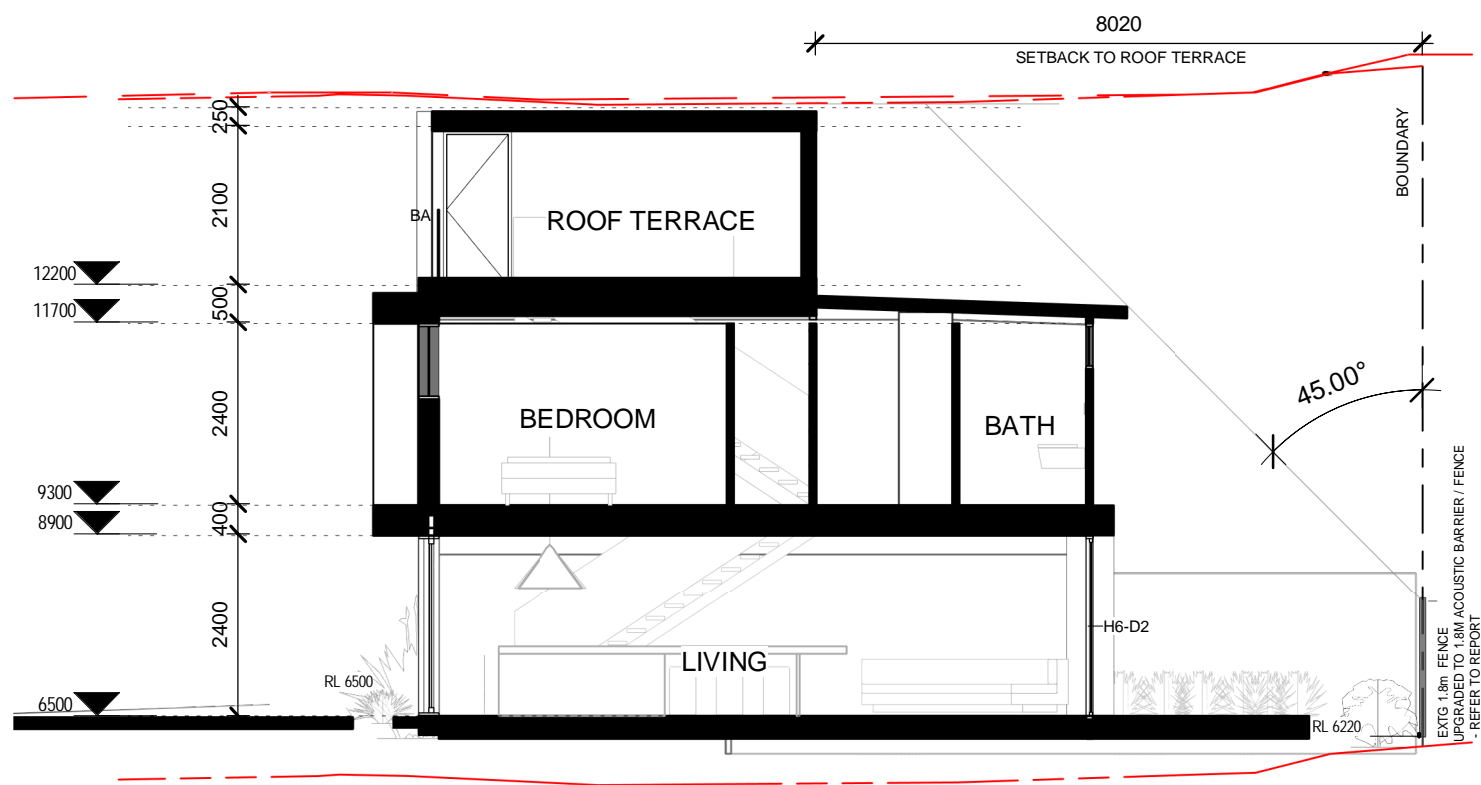
SECTION H3
SCALE: 1 : 100



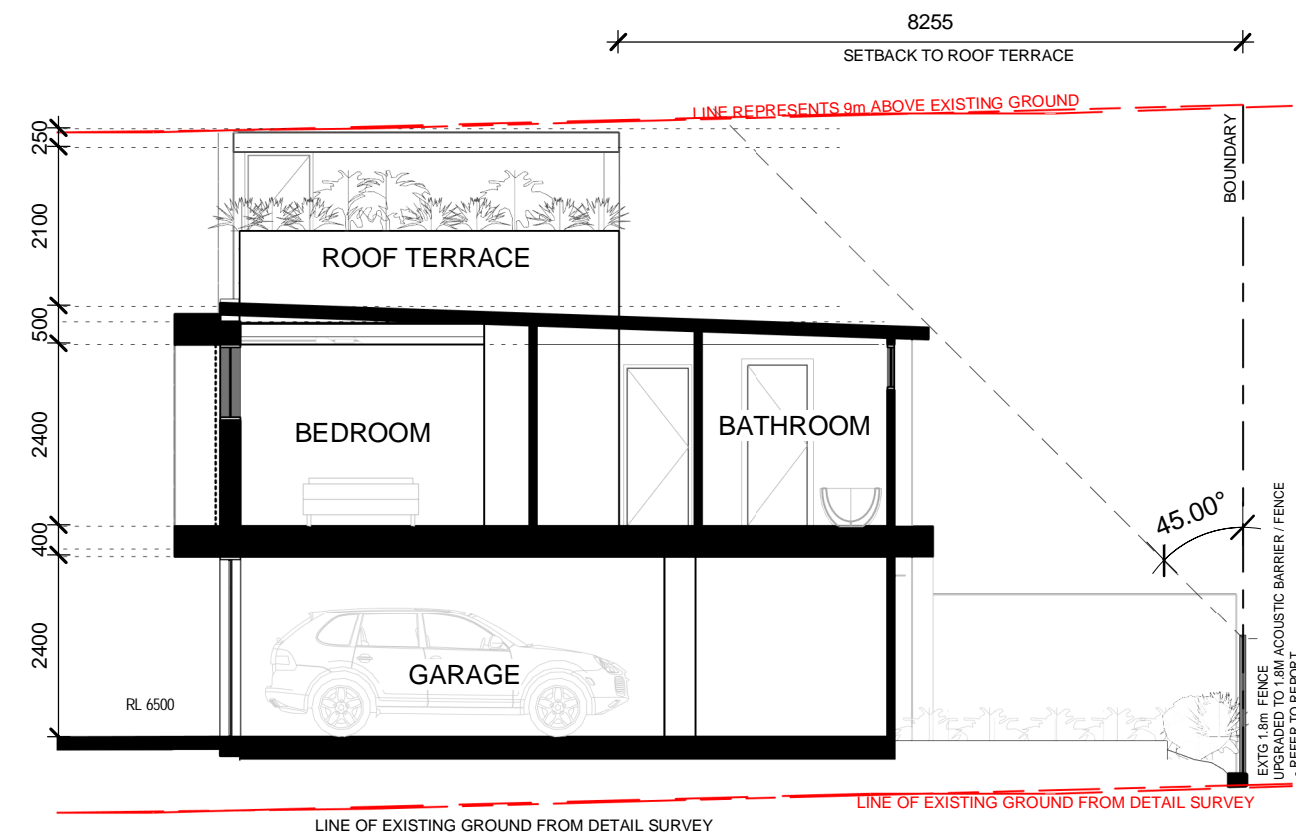
SECTION H4
SCALE: 1 : 100



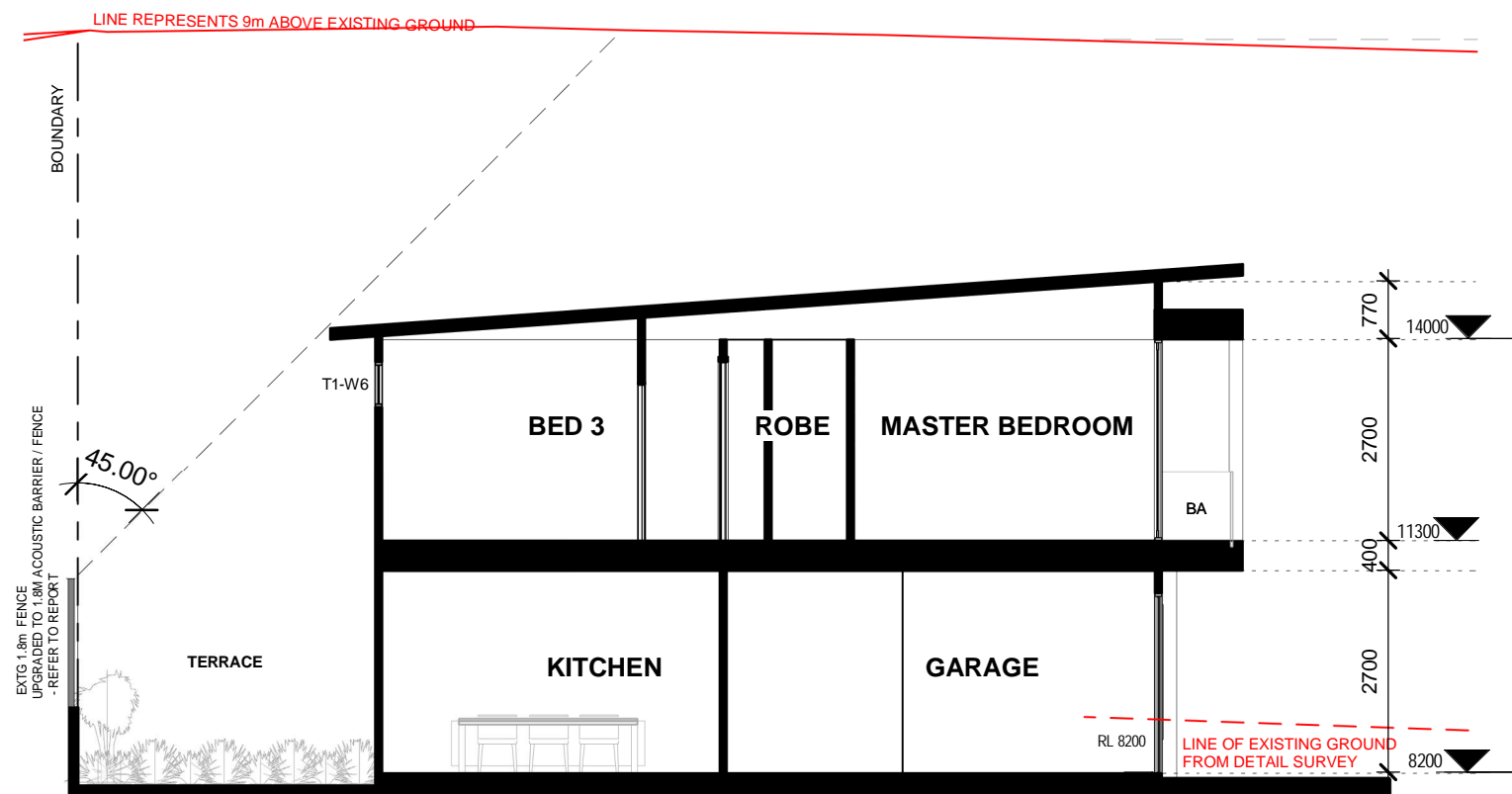
SECTION H5
SCALE: 1 : 100



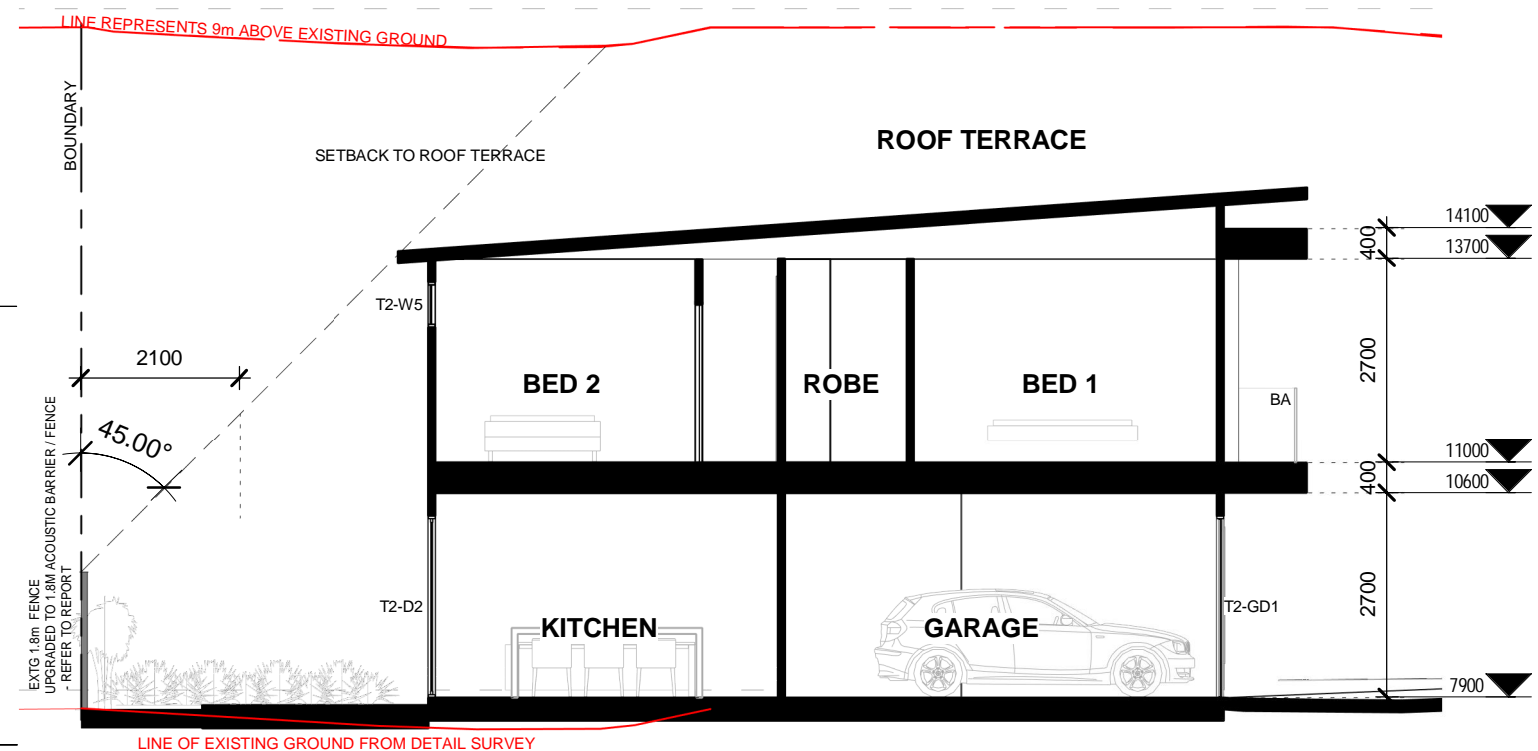
SECTION H6
SCALE: 1 : 100



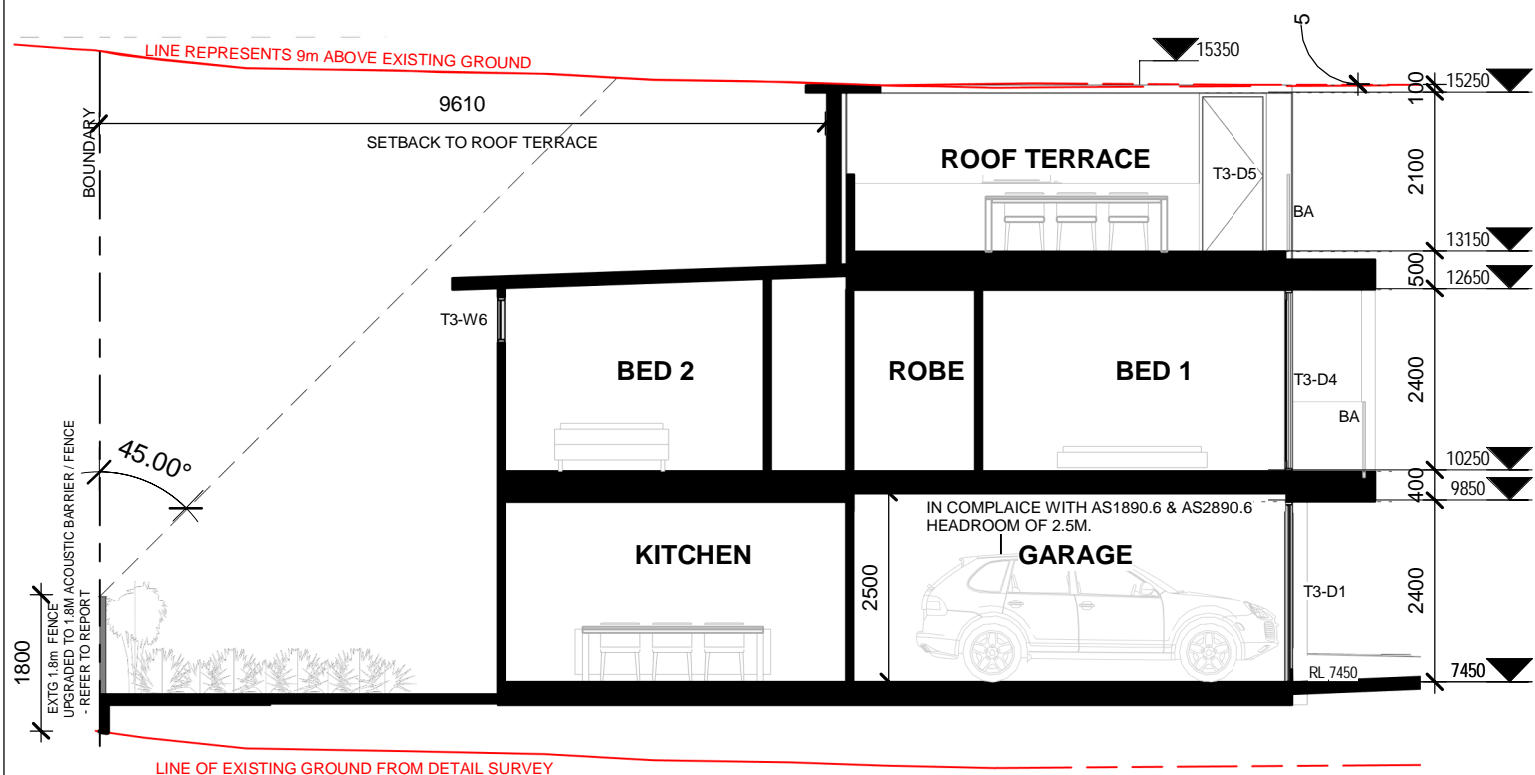
SECTION H7
SCALE: 1 : 100



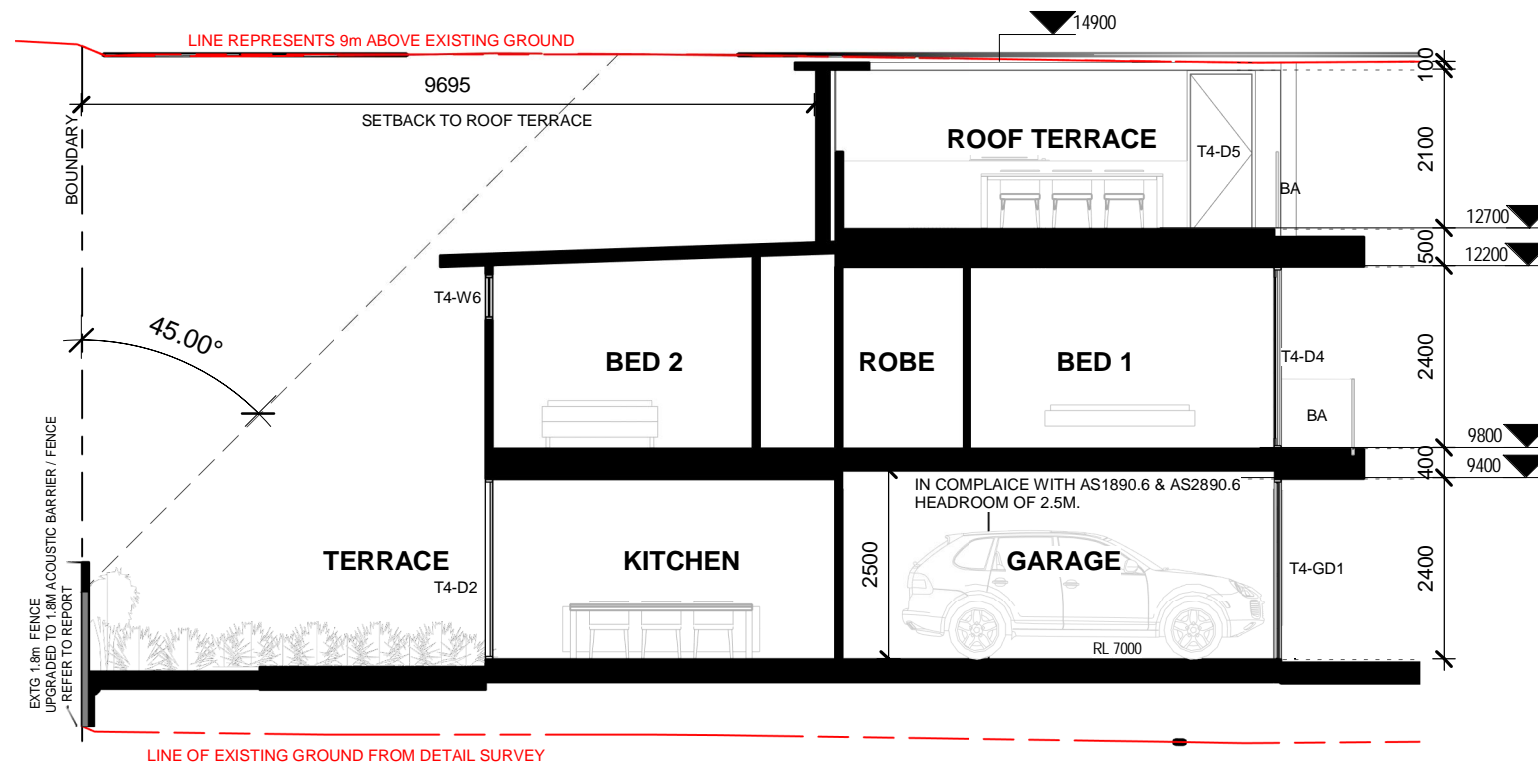
SECTION T1
SCALE: 1 : 100



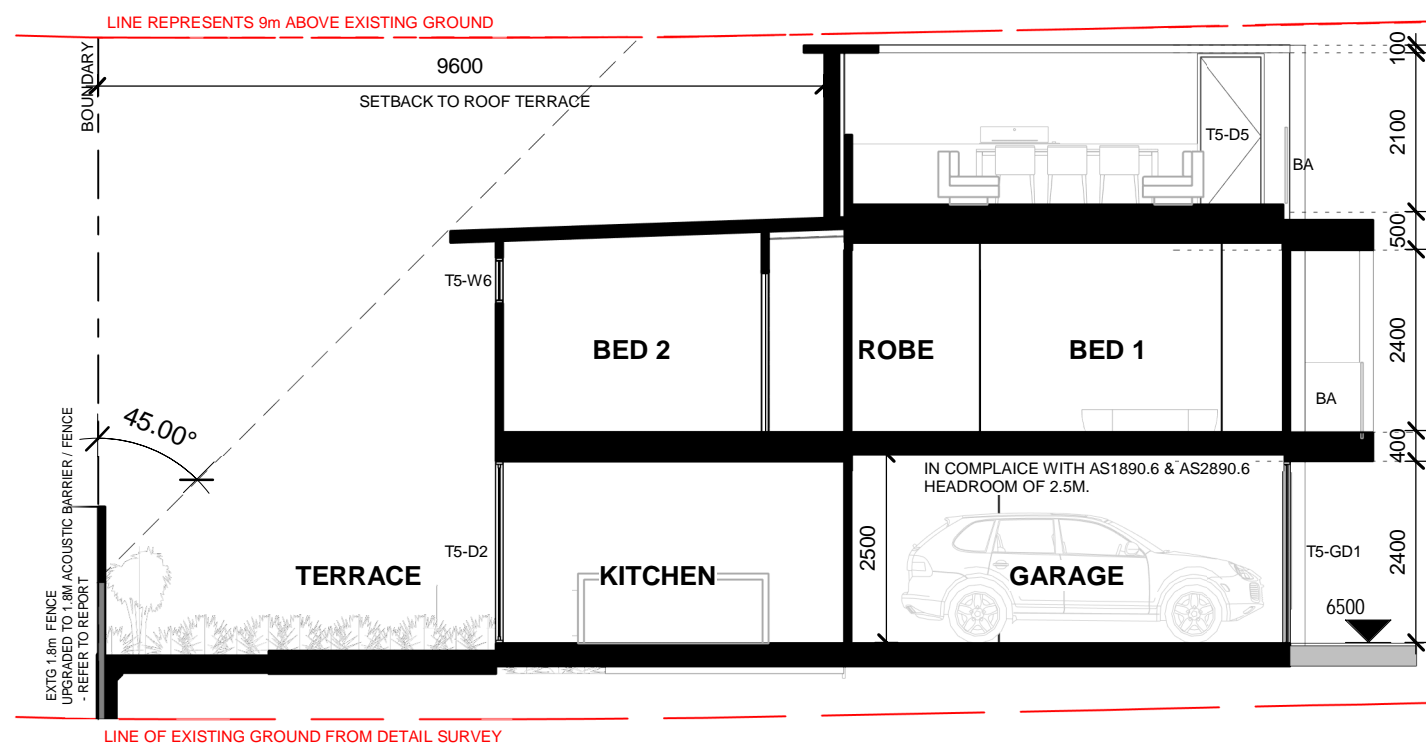
SECTION T2
SCALE: 1 : 100



SECTION T3
SCALE: 1 : 100

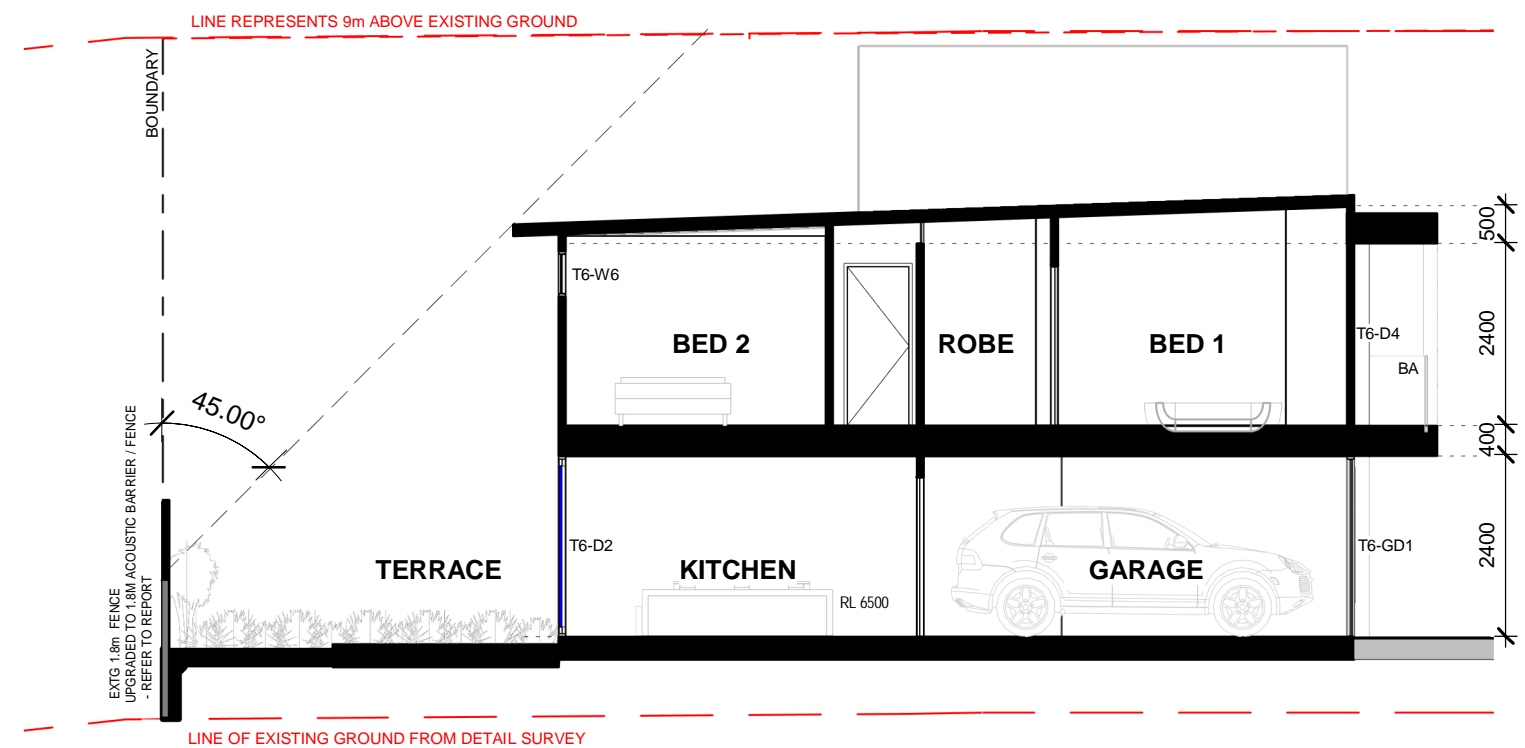


SECTION T4
SCALE: 1 : 100



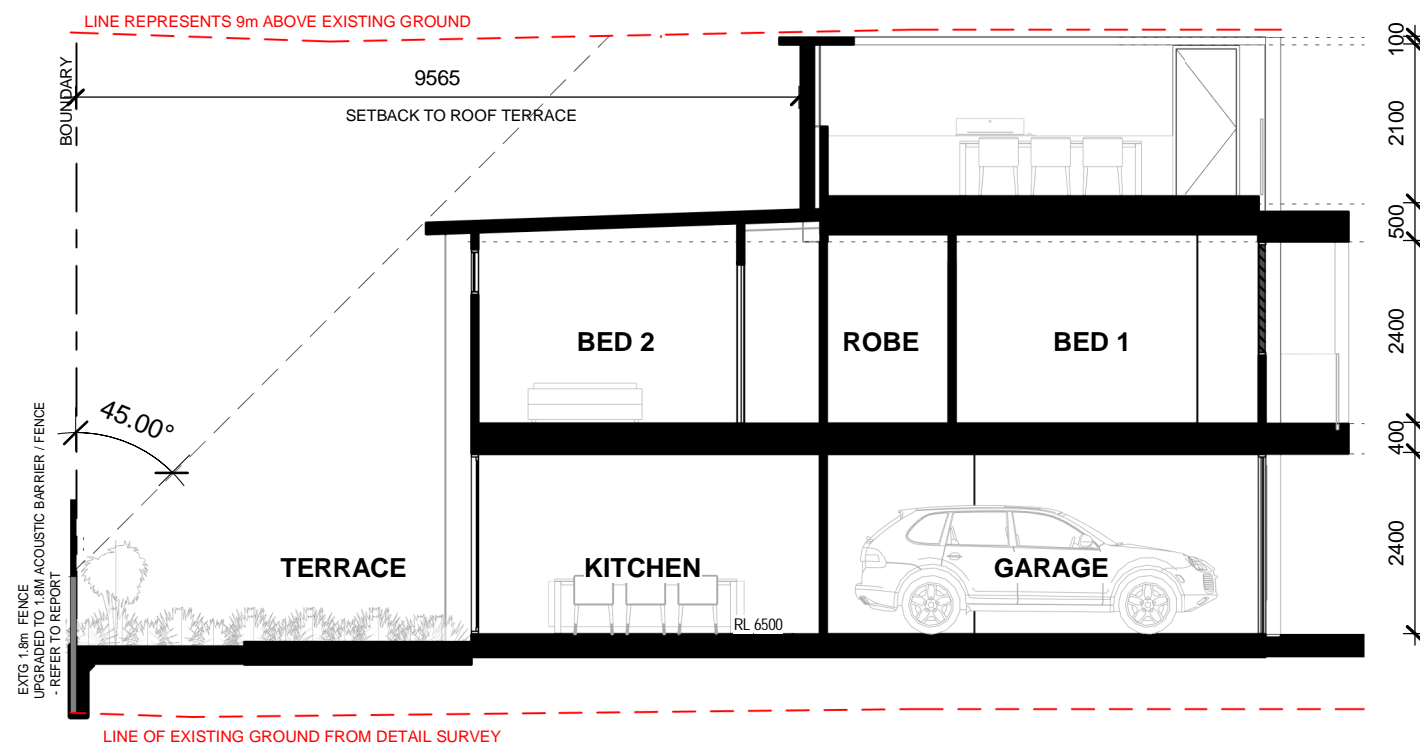
SECTION T5

SCALE: 1 : 100



SECTION T6

SCALE: 1 : 100



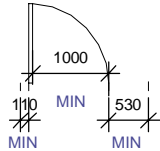
SECTION T7

SCALE: 1 : 100

ADAPTABLE HOUSING:

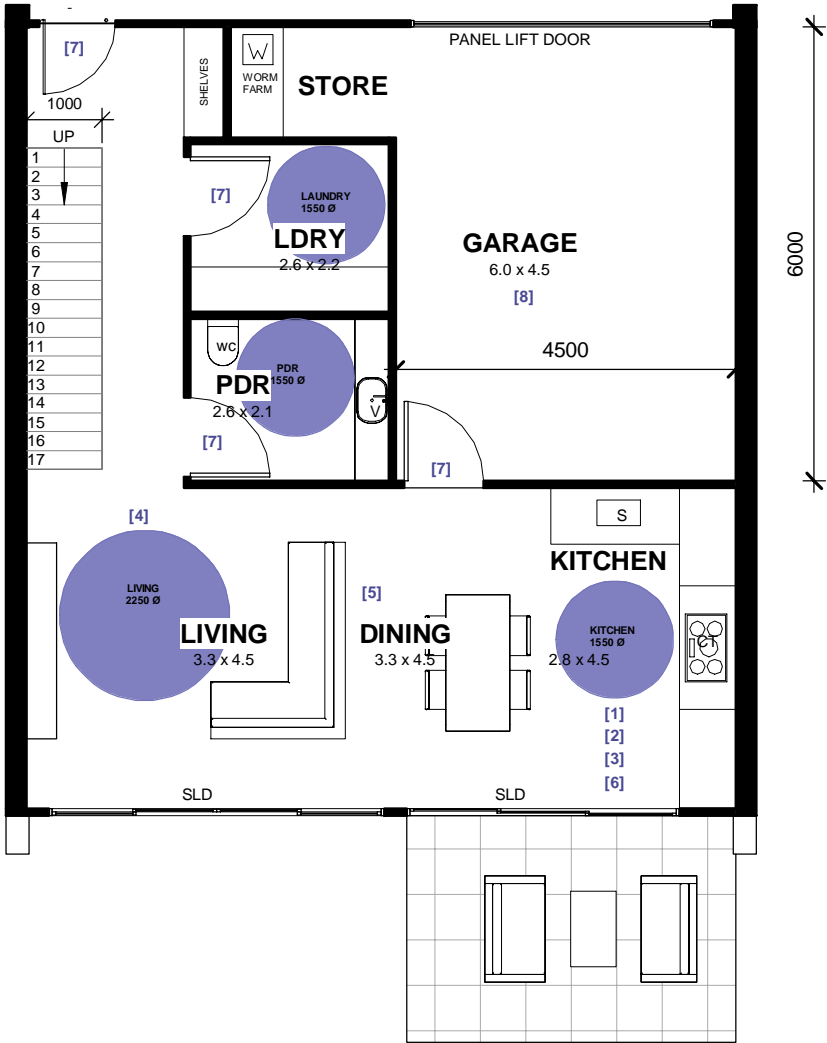
- [1] - 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [2] - THE KITCHEN SHOULD BE DESIGNED WITH MINIMUM OF 2.7 BETWEEN ANY FACING WALLS
- [3] - PROVISION FOR ENTIRE KITCHEN BENCH TO DROP & SINK CUPBOARD BE CHANGED AS PER ADAPTABLE REQUIREMENTS
- [4] - 2.25 DIAMTER CIRCULATION SPACE FOR LIVING
- [5] - ALLOW FOR LIGHTING TO MIN ILLUMINATION LEVEL 300LUX IN LIVING / DINING
- [6] - SLIP RESISTANT FLOOR SURFACES PROVIDED 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [7] - DOORWAY TO AS1428.1:2009
RAMP MAX 1:40 SLOPE TO DOORWAY THRESHOLDS
ENTRY LIGHTING TO COMPLY WITH AUSTRALIAN STANDARD
- [8] - THE RECOMMENDED INTERNAL WIDTH OF A CARPORT OR GARAGE IS 3.8M WITH A CEILING HEIGHT OF 2.5M AND AN INTERNAL LENGTH OF 6M THROUGHOUT - COMPLIANCE WITH AS2890.6 / AS4299

[7] DOORS TO AS 1428.1:2009



SITE AND HOUSE IN GENERAL:

- SLIP RESISTANT FLOOR SURFACES REQUIRED
- WINDOW AND DOOR TYPES , LOCKS AND HINGES TO COMPLY WITH AUSTRALIAN STANDARD
- CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM STREET FRONTAGE
LETTERBOX / BIN TO BE ON HARD STANDING AREA CONNECTED TO PATHWAY
- CAR PARK TO BE 2.4M X 6M WITH PROVISION FOR ENLARGEMENT TO 3.8M WIDE [NOTED ON SITE PLAN



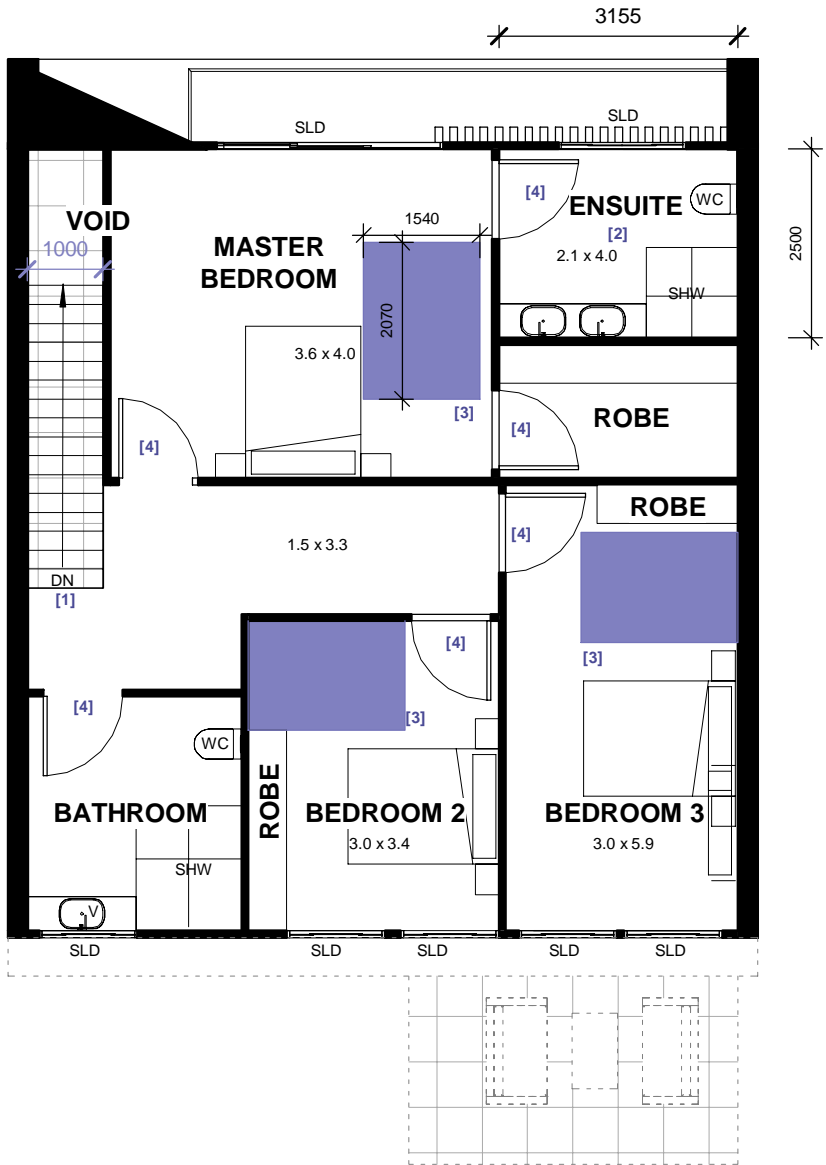
TERRACE 3,4 & 5 - GROUND - ADAPTABLE
SCALE: 1 : 100

ADAPTABLE HOUSING:

- [1] - HALLWAY CLEARANCE TO BE MIN 1m WIDE / STAIRWAY MIN 1M WIDE
- [2] - 2.4 x 2.4 PROVISION FOR ADAPTABLE BATHROOM
- [3] - 2.07 X 1.55 MINIMUM UNOBSTRUCTED AREA, FREE OF FURNITURE
- [4] - DOORS AS AS1428.1:2009

HOUSE IN GENERAL:

- ELECTRICIAN TO ALLOW FOR DOUBLE GPO & PHONE OUTLET TO BEDSIDE



TERRACE 3,4 & 5 - UPPER - ADAPTABLE
SCALE: 1 : 100



GENERAL NOTES:

Use written dimensions only. DO NOT scale drawings. Contractors to verify all dimensions on site prior to commencing works. Site location in accordance with engineers details. These drawings are to be read in conjunction with engineers design and details, the accompanying building specification and schedule of finishes. If in doubt, please request clarification. DO NOT ASSUME.

CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: ADAPTABLE HOUSING REFERENCE T3,4 & 5

DRAWING DATE: 04.03.2021 SCALE: 1 : 100 @ A3 DRAWN BY: CCD

ISSUE: FOR APPROVALS

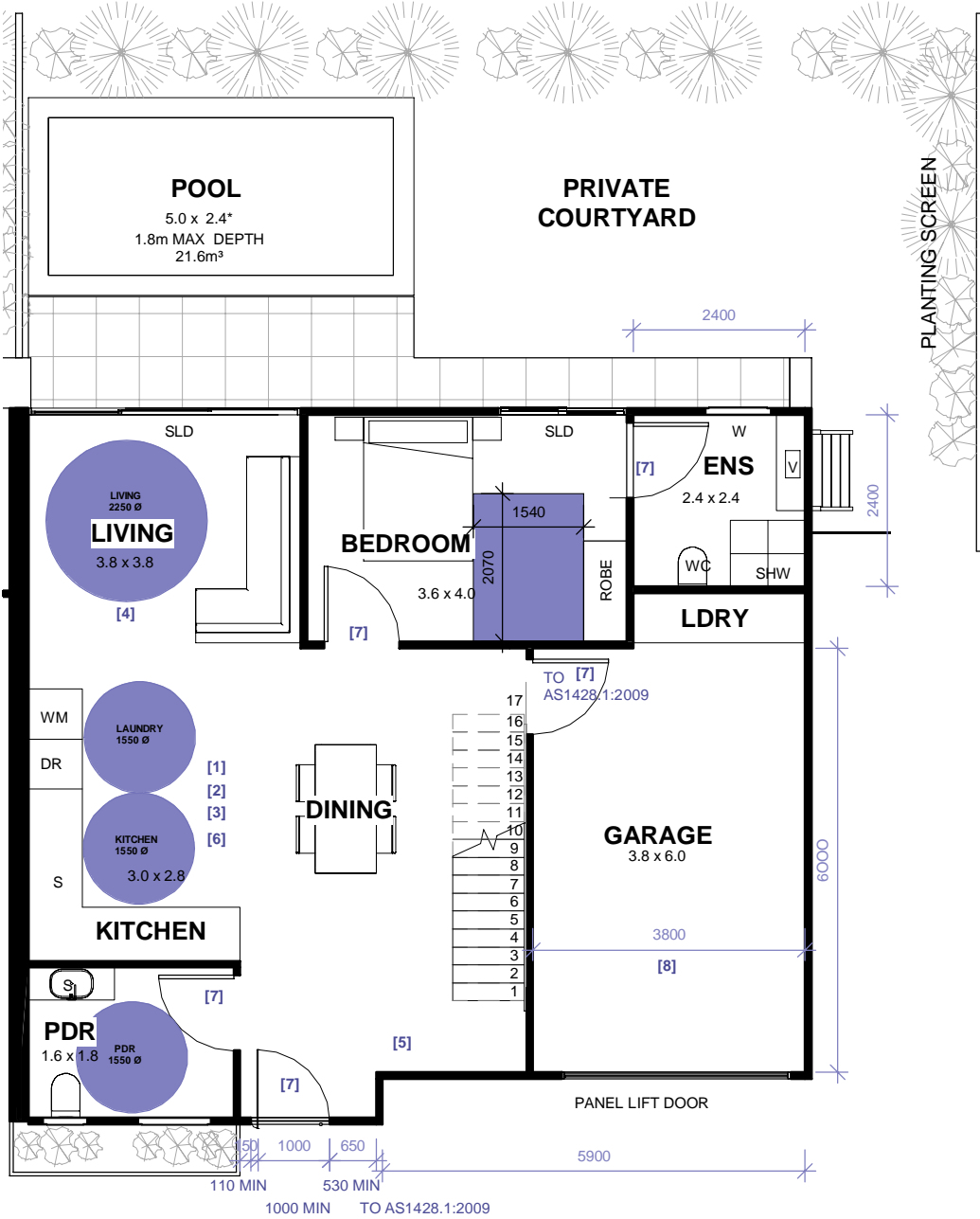
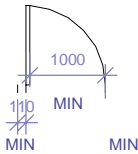
ADAPTABLE HOUSING:

- [1] - 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [2] - THE KITCHEN SHOULD BE DESIGNED WITH MINIMUM OF 2.7 BETWEEN ANY FACING WALLS
- [3] - PROVISION FOR ENTIRE KITCHEN BENCH TO DROP & SINK CUPBOARD BE CHANGED AS PER ADAPTABLE REQUIREMENTS
- [4] - 2.25 DIAMTER CIRCULATION SPACE FOR LIVING
- [5] - ALLOW FOR LIGHTING TO MIN ILLUMINATION LEVEL 300LUX IN LIVING / DINING
- [6] - SLIP RESISTANT FLOOR SURFACES PROVIDED 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [7] - DOORWAY TO AS1428.1:2009
RAMP MAX 1:40 SLOPE TO DOORWAY THRESHOLDS
ENTRY LIGHTING TO COMPLY WITH AUSTRALIAN STANDARD
- [8] - THE RECOMMENDED INTERNAL WIDTH OF A CARPORT OR GARAGE IS 3.8M WITH A CEILING HEIGHT OF 2.5M AND AN INTERNAL LENGTH OF 6M THROUGHOUT - COMPLIANCE WITH AS2890.6 / AS4299

SITE AND HOUSE IN GENERAL:

- SLIP RESISTANT FLOOR SURFACES REQUIRED
- WINDOW AND DOOR TYPES , LOCKS AND HINGES TO COMPLY WITH AUSTRALIAN STANDARD
- CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM STREET FRONTAGE
LETTERBOX / BIN TO BE ON HARD STANDING AREA CONNECTED TO PATHWAY
- CAR PARK TO BE 2.4M X 6M WITH PROVISION FOR ENLARGEMENT TO 3.8M WIDE [NOTED ON SITE PLAN

[7] DOORS TO AS 1428.1:2009



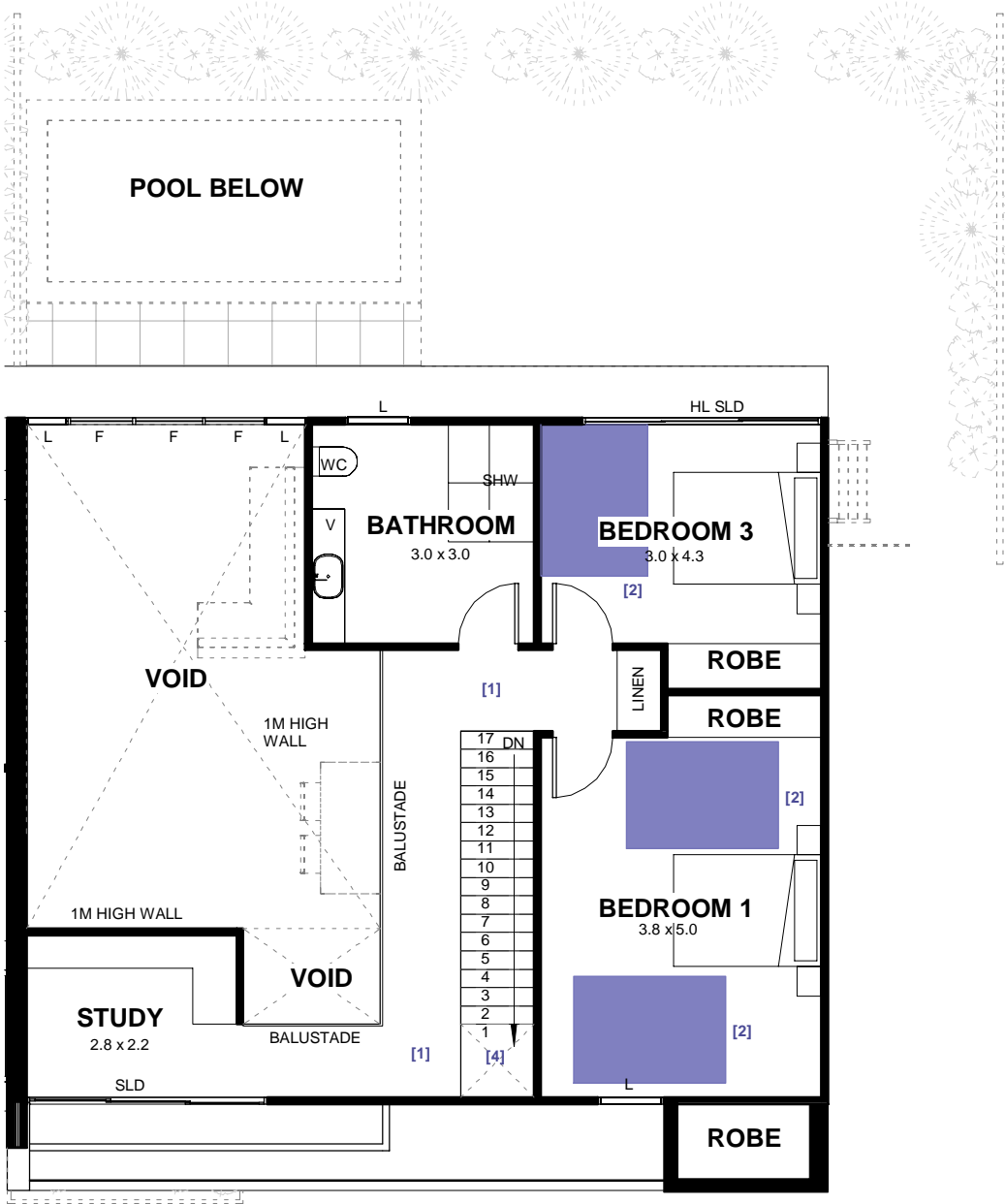
H3 - GROUND FLOOR - ADAPTABLE HOUSING
SCALE: 1 : 100

ADAPTABLE HOUSING:

- [1] - HALLWAY CLEARANCE TO BE MIN 1m WIDE
- [2] - 2.07 X 1.55 MINIMUM UNOBSTRUCTED AREA, FREE OF FURNITURE
- [3] - STAIRWAY MIN 1M WIDE

HOUSE IN GENERAL:

- ELECTRICIAN TO ALLOW FOR DOUBLE GPO & PHONE OUTLET TO BEDSIDE



H3 - LEVEL 1 ADAPTABLE HOUSING
SCALE: 1 : 100

