

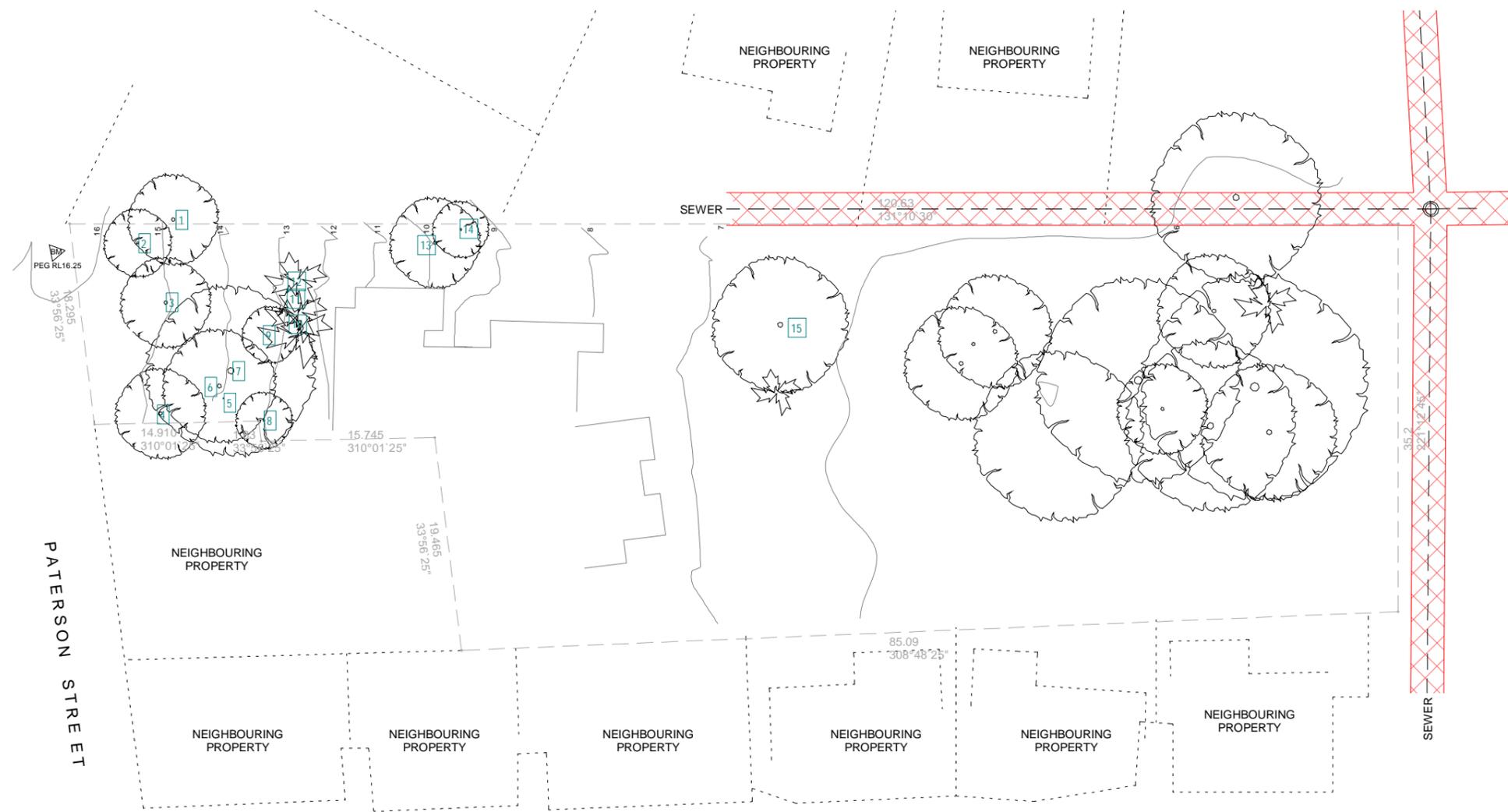
SHEET ISSUE - FOR APPROVALS A3

SHEET NUMBER	REV	SHEET NAME	STATUS	REV ID	LATEST REVISION DATE	ISSUE DATE
C1.0	D	EXISTING SITE	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.1	D	PROPOSED SITE - ABORIST	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.2	D	PROPOSED SITE / ROOF PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.2.1	D	GROUND FLOOR PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.2.2	D	UPPER FLOOR PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.3	D	SOLSTICE 9AM	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.4	D	SOLSTICE 12PM	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.5	D	SOLSTICE 3PM	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.6	D	SOLTICE (FENCE ONLY)	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.7	D	LANDSCAPING PLAN	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C1.8	D	DEEP SOIL AREAS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C4.1	D	SITE ELEVATIONS - H1-H7	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C4.2	D	SITE ELEVATIONS - T1-T7	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.0	D	SITE LONG SECTIONS - HEIGHT LIMIT - NORTH	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.1	D	SITE LONG SECTION - HEIGHT LIMIT - SOUTH	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.2	D	NORTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.3	D	NORTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.4	D	SOUTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C5.5	D	SOUTHERN SECTIONS	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C7.1	D	ADAPTABLE HOUSING REFERENCE T3,4 & 5	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021
C7.2	D	ADAPTABLE HOUSING REFERENCE H3	FOR APPROVALS	RFI RESPONSE	25.02.2021	22.03.2021

# CHRIS CLOUD DESIGN

## PATERSON STREET





LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

**TOTAL SITE AREA**  
SITE AREA = 3816m<sup>2</sup>  
**FSR = 0.488**

**SITE NET AREAS**  
SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>  
GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



**CHRIS CLOUD DESIGN**

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**GENERAL NOTES:**  
Use written dimensions only. DO NOT scale drawings. Contractors to verify all dimensions on site prior to commencing works. Site location in accordance with engineers details. These drawings are to be read in conjunction with engineers design and details, the accompanying building specification and schedule of finishes. If in doubt, please request clarification. DO NOT ASSUME.

CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: **EXISTING SITE**

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: **FOR APPROVALS**

C1.0- D



LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

**TOTAL SITE AREA**  
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GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



RAMPS LANDINGS EVERY 9M AT 1:14, INCLUDE FOR PASSING SPACES EVERY 20M [P]  
LIFT AND LANDINGS IN COMPLAICE WITH AS1735.

TRANSFORMER  
6M CLEARANCE HORIZONTAL  
5M CLEARANCE VERTICAL (FROM PAD)

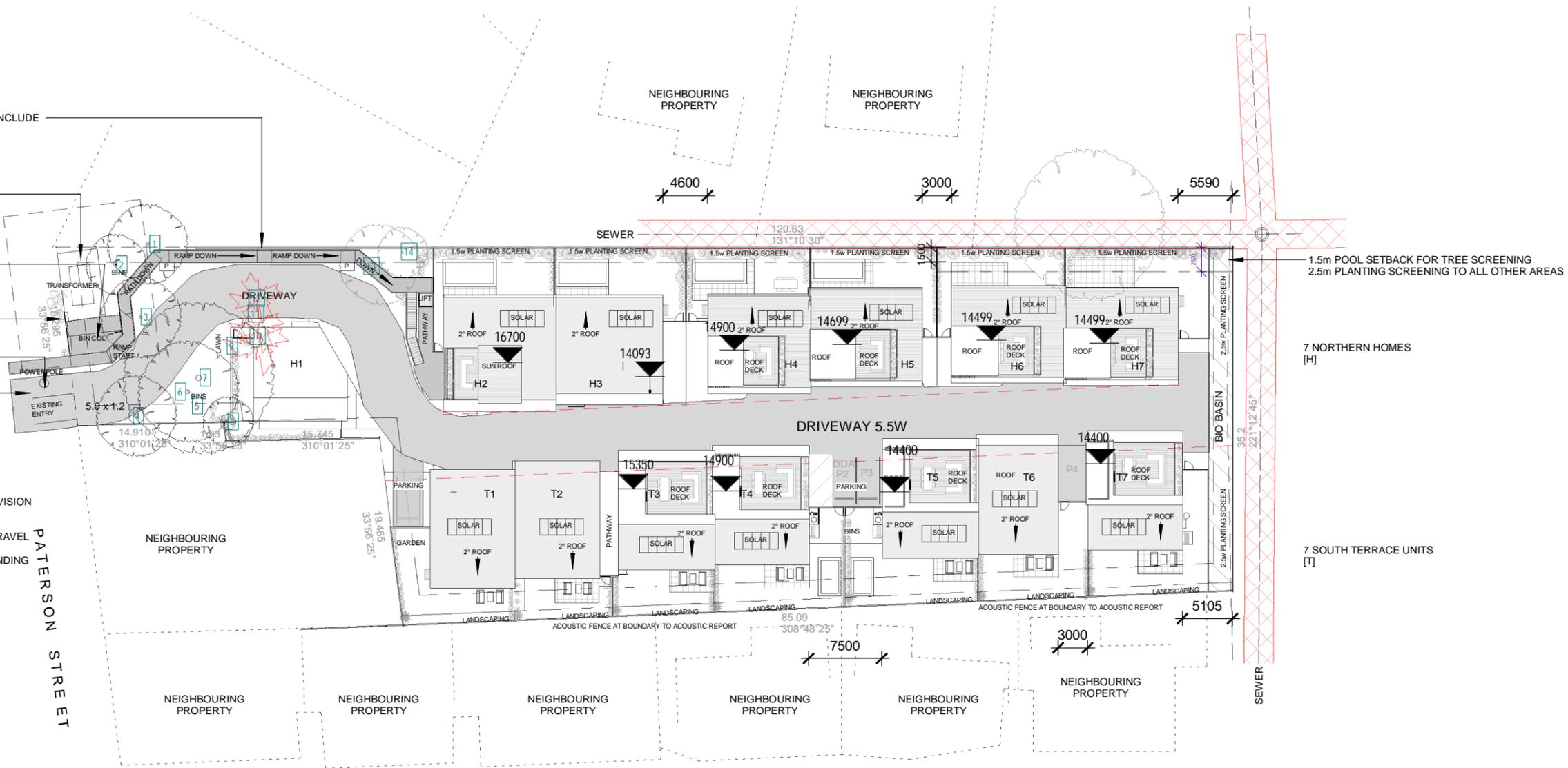
BIN COLLECTION  
LETTERBOXES TO BE 900mm to 1200mm HIGH

DEMOLISH AND RELOCATE SERVICES

NEW DRIVEWAY CROSSOVER IN ACCORDANCE WITH NORTHERN RIVERS LOCAL GOVERNMENT STD Drg R-05D AND R-06D AND COUNCIL REQUIREMENTS.

CAR PARK TO BE 2.4M X 6M WITH PROVISION FOR ENLARGEMENT TO 3.8M WIDE

CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM STREET FRONTAGE LETTERBOX / BIN TO BE ON HARD STANDING AREA CONNECTED TO PATHWAY



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NO.103 PATERSON STREET,  
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SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
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GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>

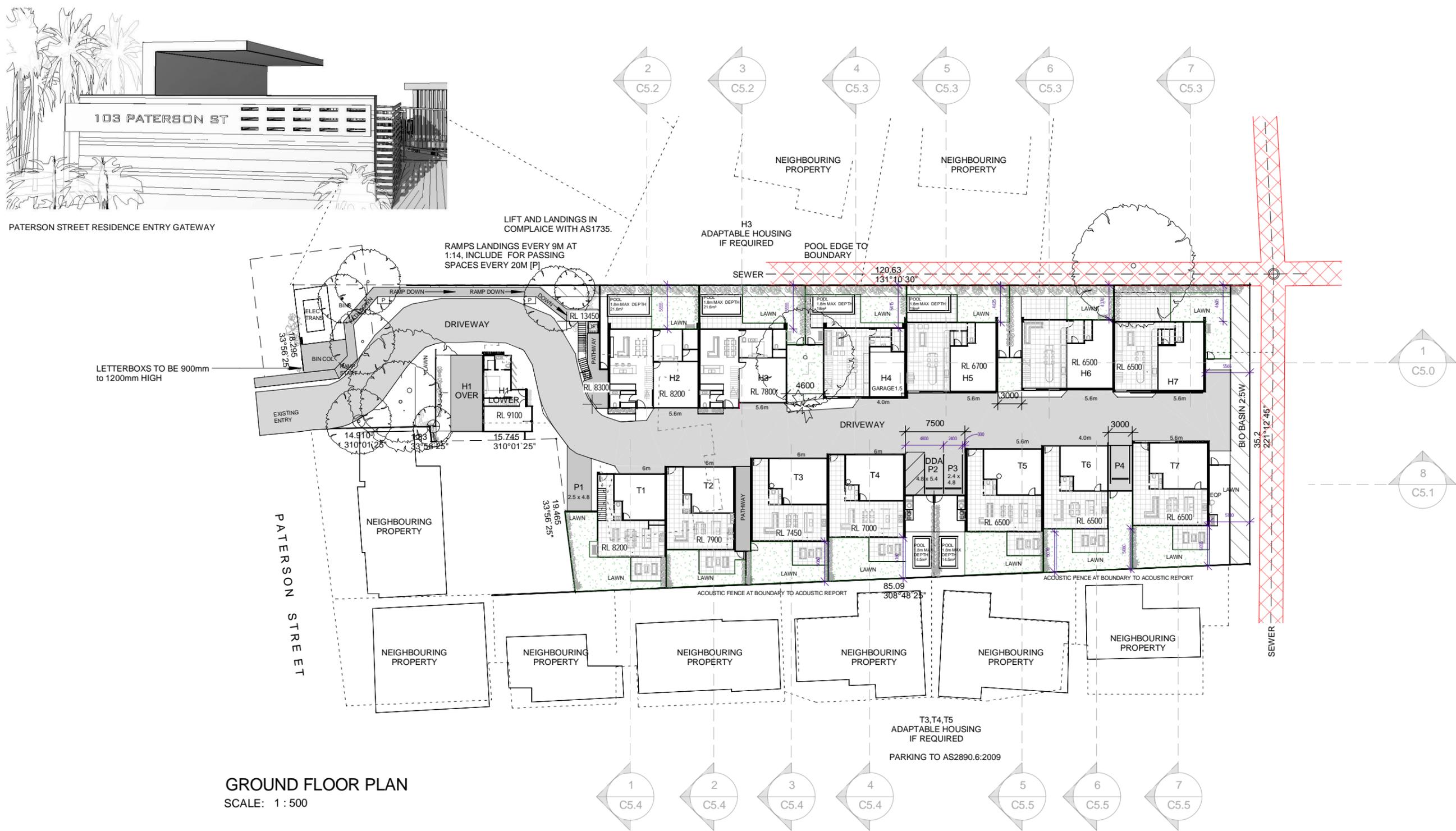


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CLIENT NAME: Planit Consulting on behalf of the proponent PROJECT NAME: PATERSON STREET  
SITE ADDRESS: 103 PATERSON STREET  
DRAWING TITLE: PROPOSED SITE / ROOF PLAN  
DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD  
ISSUE: FOR APPROVALS

C1.2 - D



LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

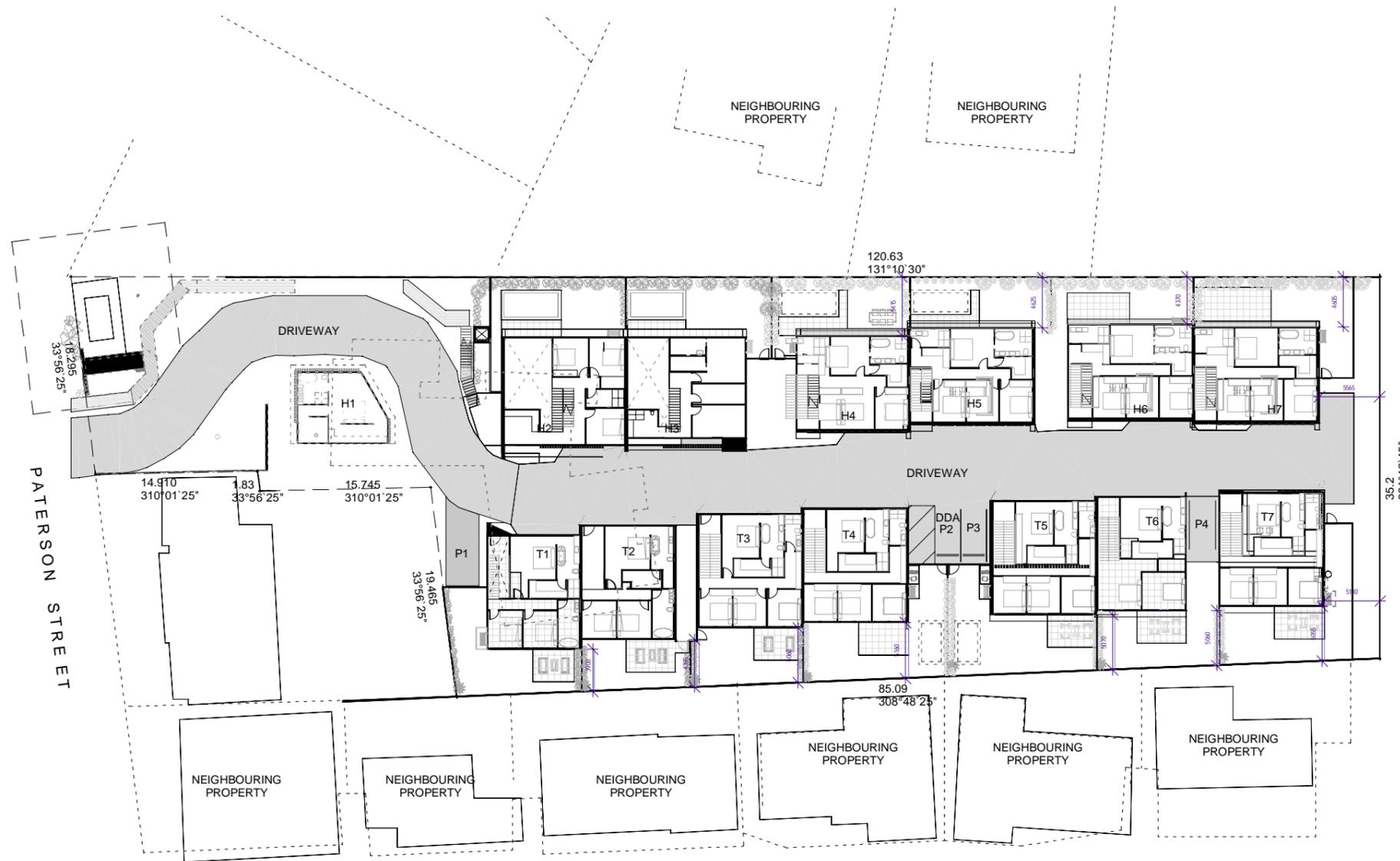
SETBACK DIMS

**TOTAL SITE AREA**  
SITE AREA = 3816m<sup>2</sup>  
**FSR = 0.488**

**SITE NET AREAS**  
SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>  
GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>





UPPER FLOOR PLAN  
SCALE: 1 : 500

LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

SETBACK DIMS

**TOTAL SITE AREA**  
SITE AREA = 3816m<sup>2</sup>  
**FSR = 0.488**

**SITE NET AREAS**  
SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>  
GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: **UPPER FLOOR PLAN**

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: **FOR APPROVALS**

C1.2.2 - D



LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

**9AM SHADOW WINTER SOLSTICE**  
SCALE: 1 : 500

**TOTAL SITE AREA**  
SITE AREA = 3816m<sup>2</sup>  
**FSR = 0.488**

**SITE NET AREAS**  
SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>  
GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: **SOLSTICE 9AM**

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: **FOR APPROVALS**

C1.3- D



LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

12PM SHADOW WINTER SOLSTICE  
SCALE: 1 : 500

**TOTAL SITE AREA**  
SITE AREA = 3816m<sup>2</sup>  
**FSR = 0.488**

**SITE NET AREAS**  
SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>  
GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



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CLIENT NAME: Planit Consulting on behalf of the proponent

PROJECT NAME: PATERSON STREET

SITE ADDRESS: 103 PATERSON STREET

DRAWING TITLE: SOLSTICE 12PM

DRAWING DATE: 04.03.2021 SCALE: As indicated @ A3 DRAWN BY: CCD

ISSUE: FOR APPROVALS

C1.4 - D



LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY

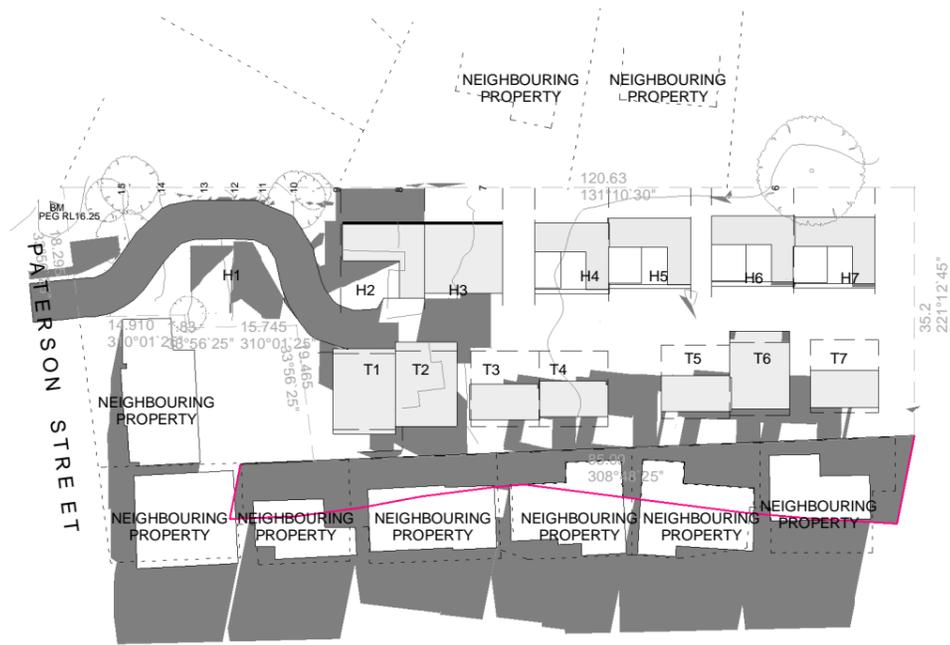
**3PM SHADOW WINTER SOLSTICE**  
SCALE: 1 : 500

**TOTAL SITE AREA**  
SITE AREA = 3816m<sup>2</sup>  
**FSR = 0.488**

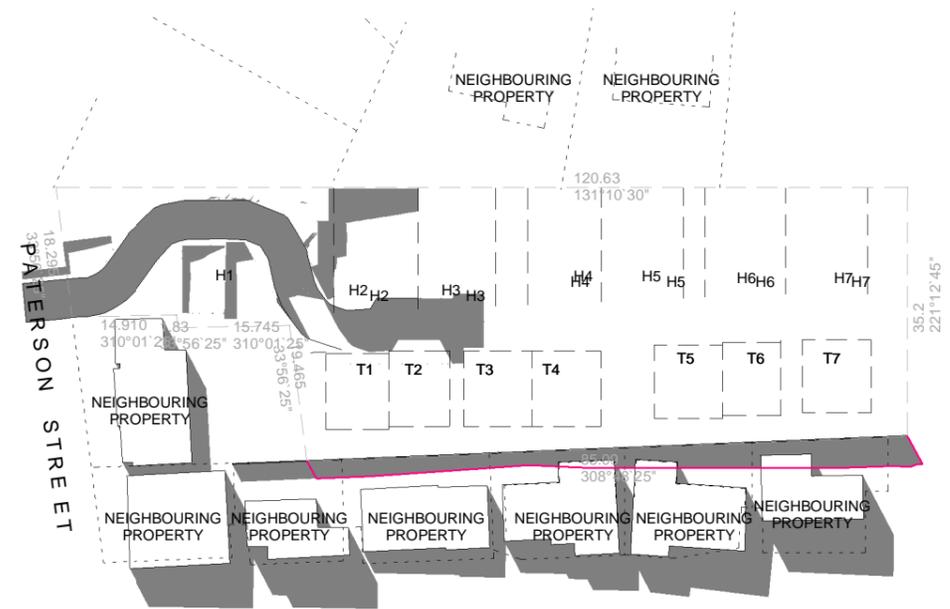
**SITE NET AREAS**  
SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>  
SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>  
GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**  
PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>

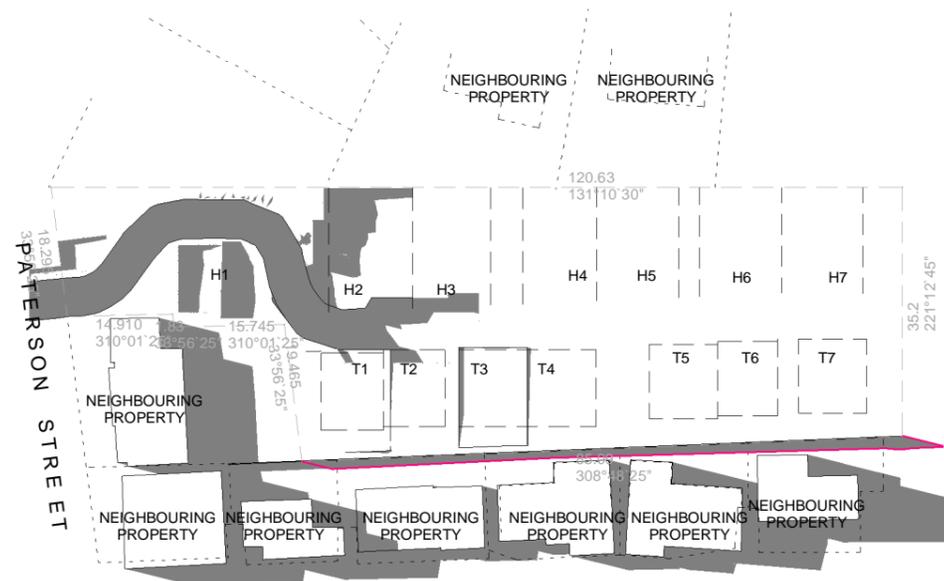




GROUND FLOOR (6M) 9AM SHADOW FENCE ONLY  
SCALE: 1 : 1000



GROUND FLOOR (6M) 12PM SHADOW FENCE ONLY  
SCALE: 1 : 1000



GROUND FLOOR (6M) 3PM SHADOW FENCE ONLY  
SCALE: 1 : 1000





LOT 101 in DP839601  
NO.103 PATERSON STREET,  
BYRON BAY



1519m<sup>2</sup> COMMON LANDSCAPE AREA

**REQUIREMENTS:**

COMMON LANDSCAPED AREA = 840m<sup>2</sup>  
DEEP SOIL ZONE = 630m<sup>2</sup>

**TOTAL SITE AREA**

SITE AREA = 3816m<sup>2</sup>

**FSR = 0.488**

**SITE NET AREAS**

SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>

SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>

GRAND NET TOTAL = 1859.8m<sup>2</sup>

**TERRACE & HOUSE AREAS ON SITE**

PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



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LOT 101 in DP839601  
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BYRON BAY



647m<sup>2</sup> DEEP SOIL ZONE = 16.9%

**REQUIREMENTS:**

COMMON LANDSCAPED AREA = 840m<sup>2</sup>  
DEEP SOIL ZONE = 630m<sup>2</sup>

**TOTAL SITE AREA**

SITE AREA = 3816m<sup>2</sup>

**FSR = 0.488**

**SITE NET AREAS**

SITE NET TOTAL - GROUND FLOOR = 764.5m<sup>2</sup>

SITE NET TOTAL - UPPER FLOOR = 1074.3m<sup>2</sup>

GRAND NET TOTAL = 1859.8m<sup>2</sup>

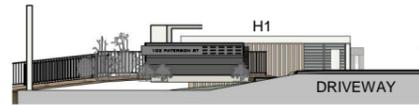
**TERRACE & HOUSE AREAS ON SITE**

PRIVATE OPEN SPACE SITE TOTAL = 545.4m<sup>2</sup>



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**WEST ELEV**  
SCALE: 1 : 300



**EAST ELEV**  
SCALE: 1 : 300



**FRONT OF NORTHERN ASPECT**  
SCALE: 1 : 300



**NORTH ELEV - REAR OF HOUSES**  
SCALE: 1 : 300





FRONT OF SOUTHERN TERRACES.  
SCALE: 1 : 300

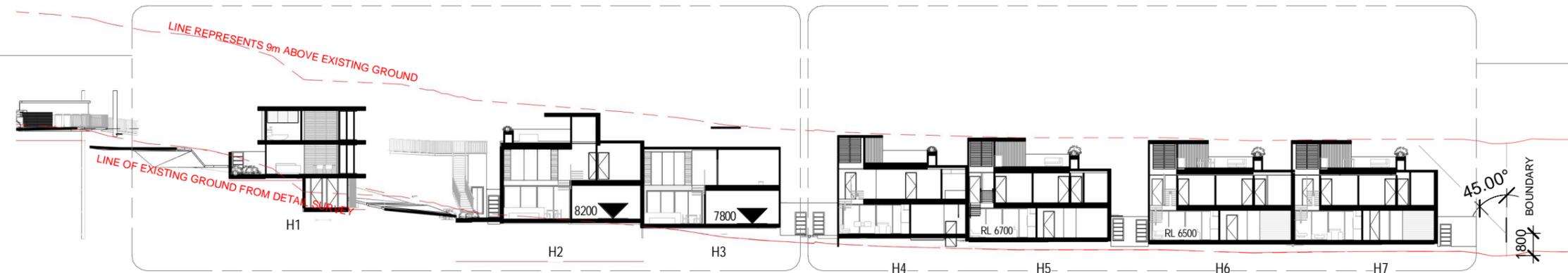


SOUTH ELEV - REAR OF TERRACES  
SCALE: 1 : 300

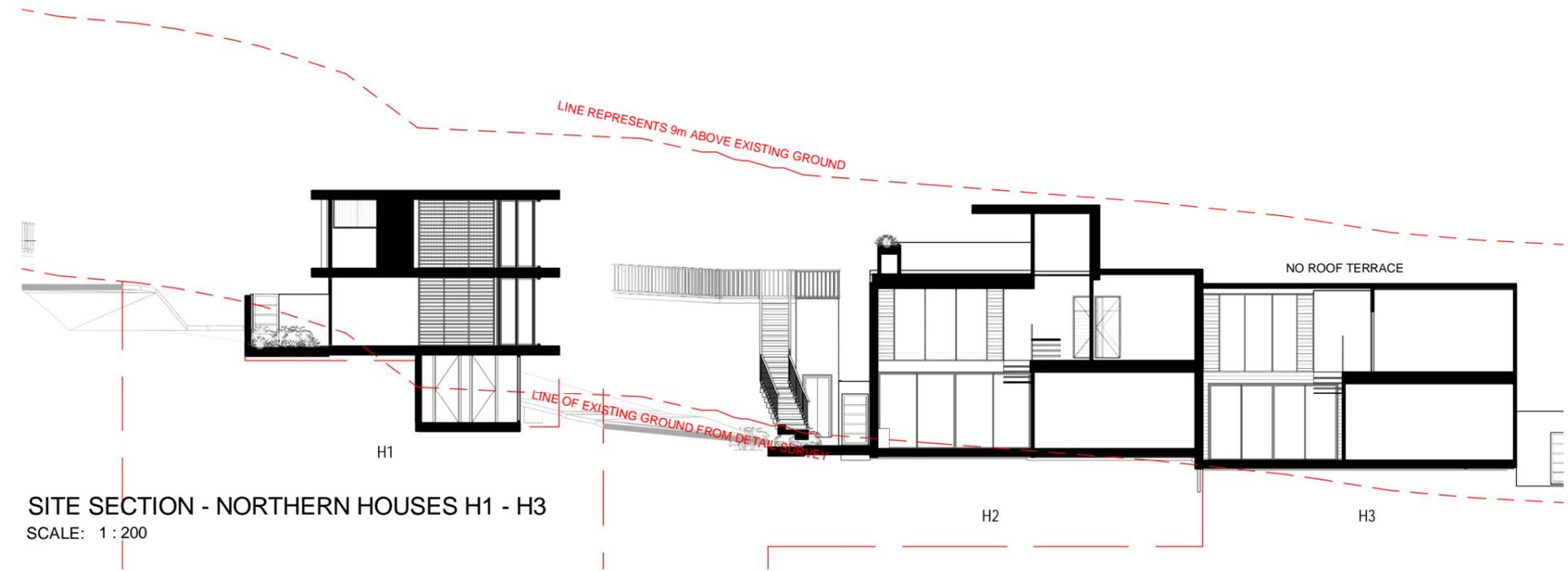


2  
C5.0

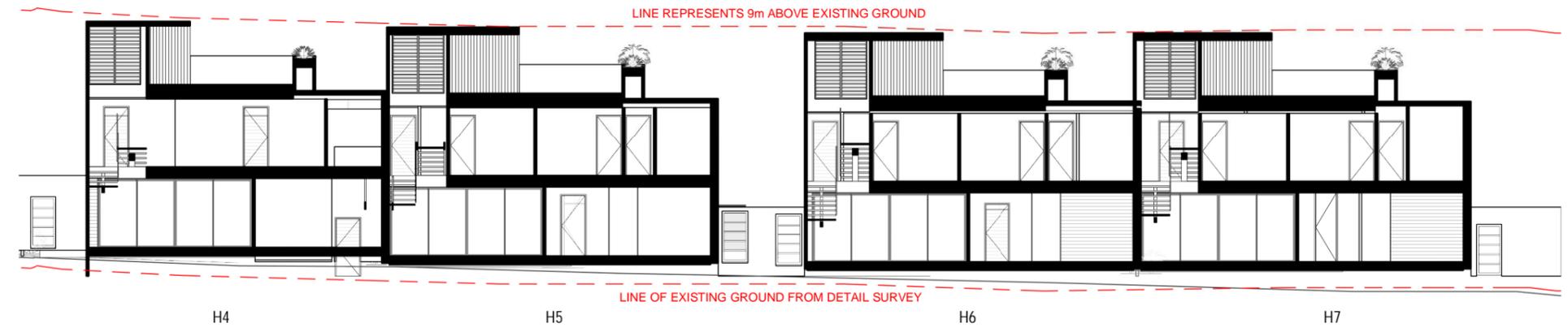
3  
C5.0



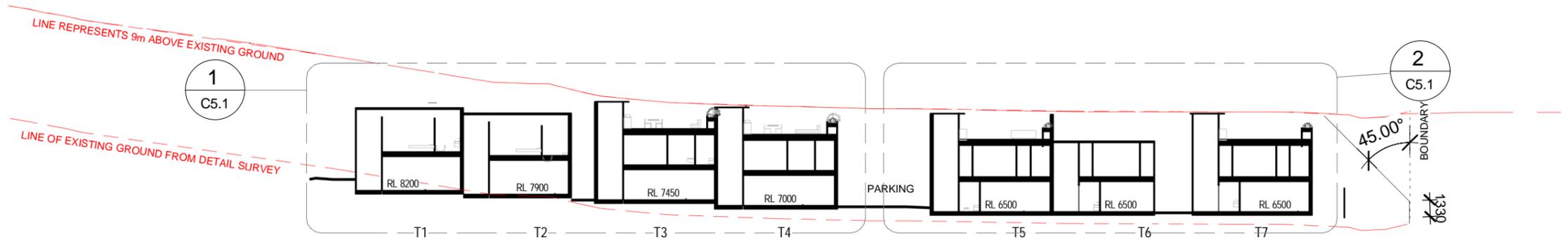
SITE SECTION - NORTHERN HOUSES  
SCALE: 1 : 400



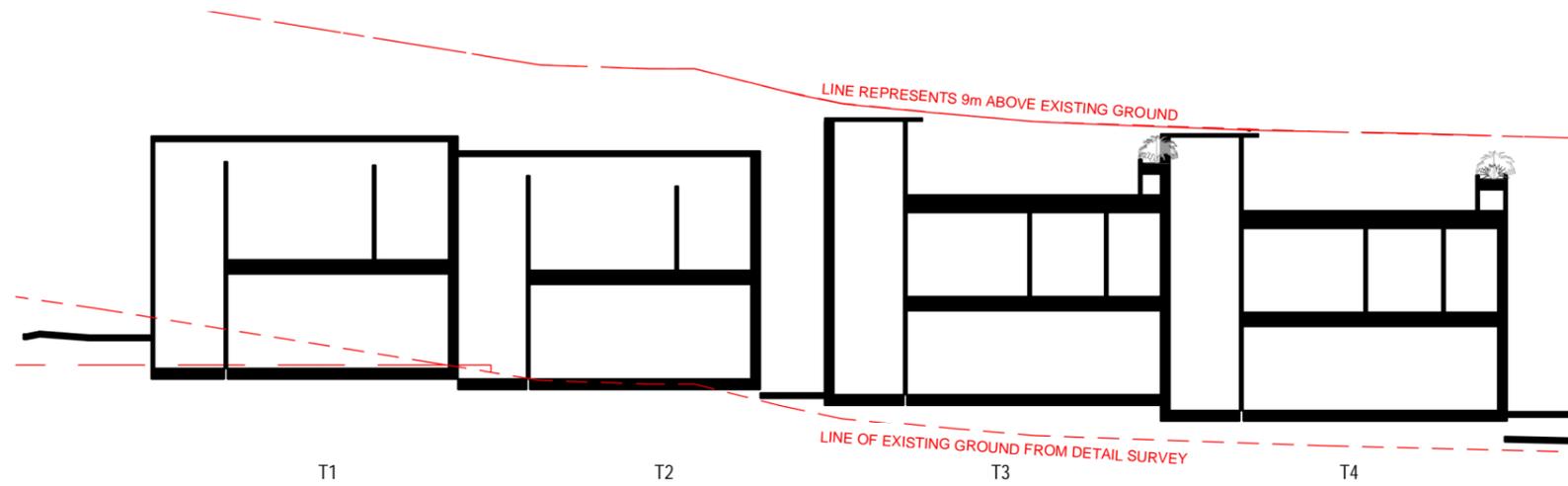
SITE SECTION - NORTHERN HOUSES H1 - H3  
SCALE: 1 : 200



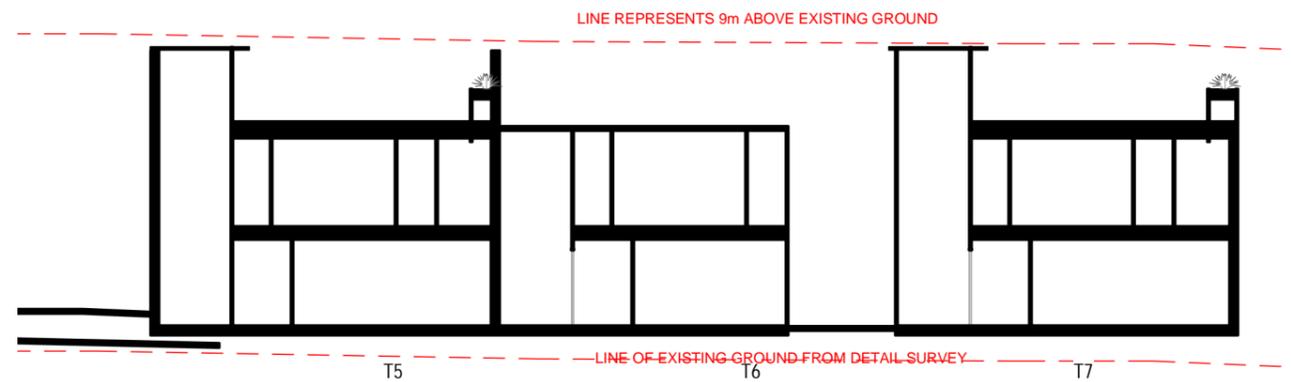
SITE SECTION - NORTHERN HOUSES H4 - H7  
SCALE: 1 : 200



**SITE SECTION - SOUTHERN HOUSES**  
SCALE: 1 : 400

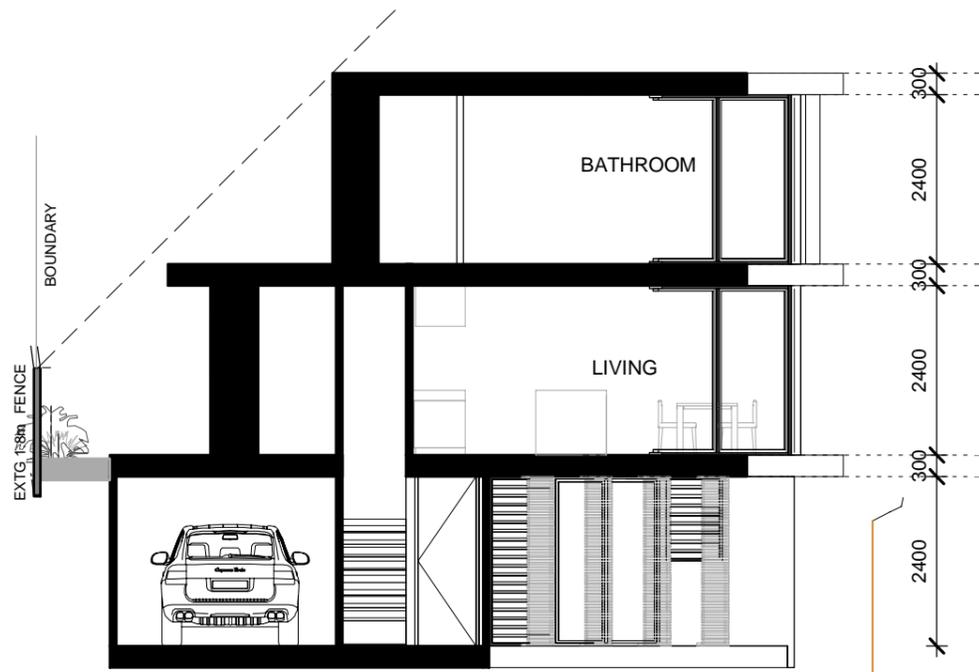


**SITE SECTION - SOUTHERN HOUSES - T1 -T4**  
SCALE: 1 : 200

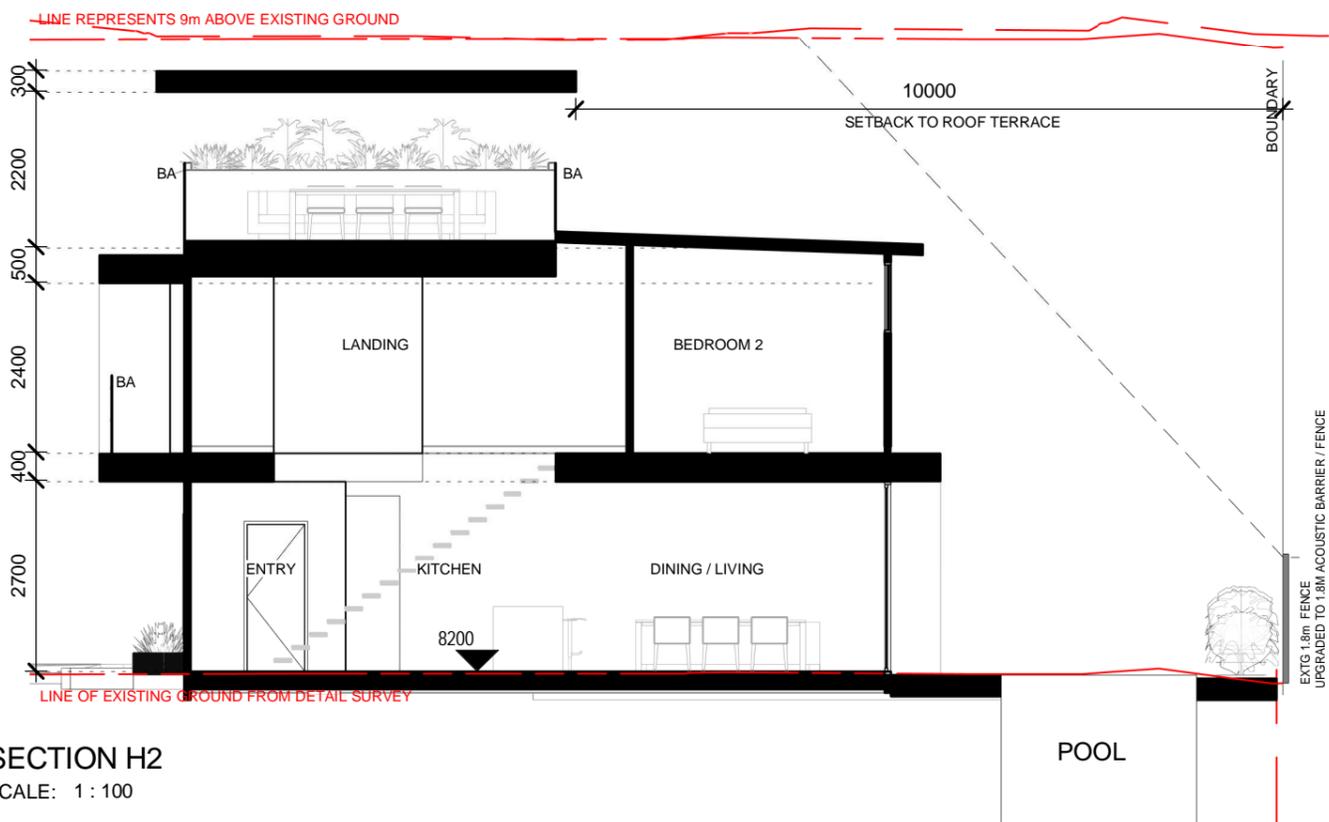


**SITE SECTION - SOUTHERN HOUSES - T5 -T7**  
SCALE: 1 : 200

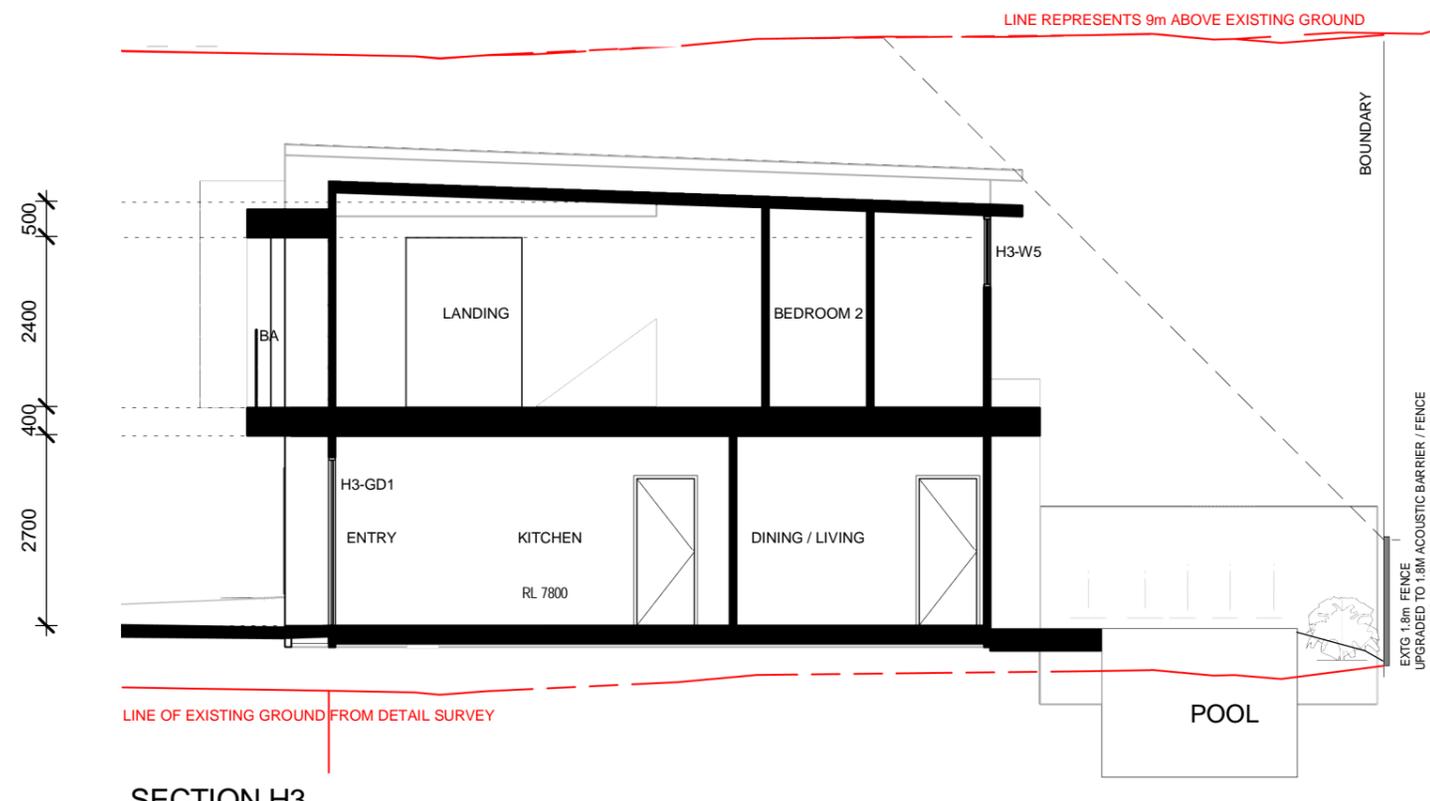




SECTION H1  
SCALE: 1 : 100

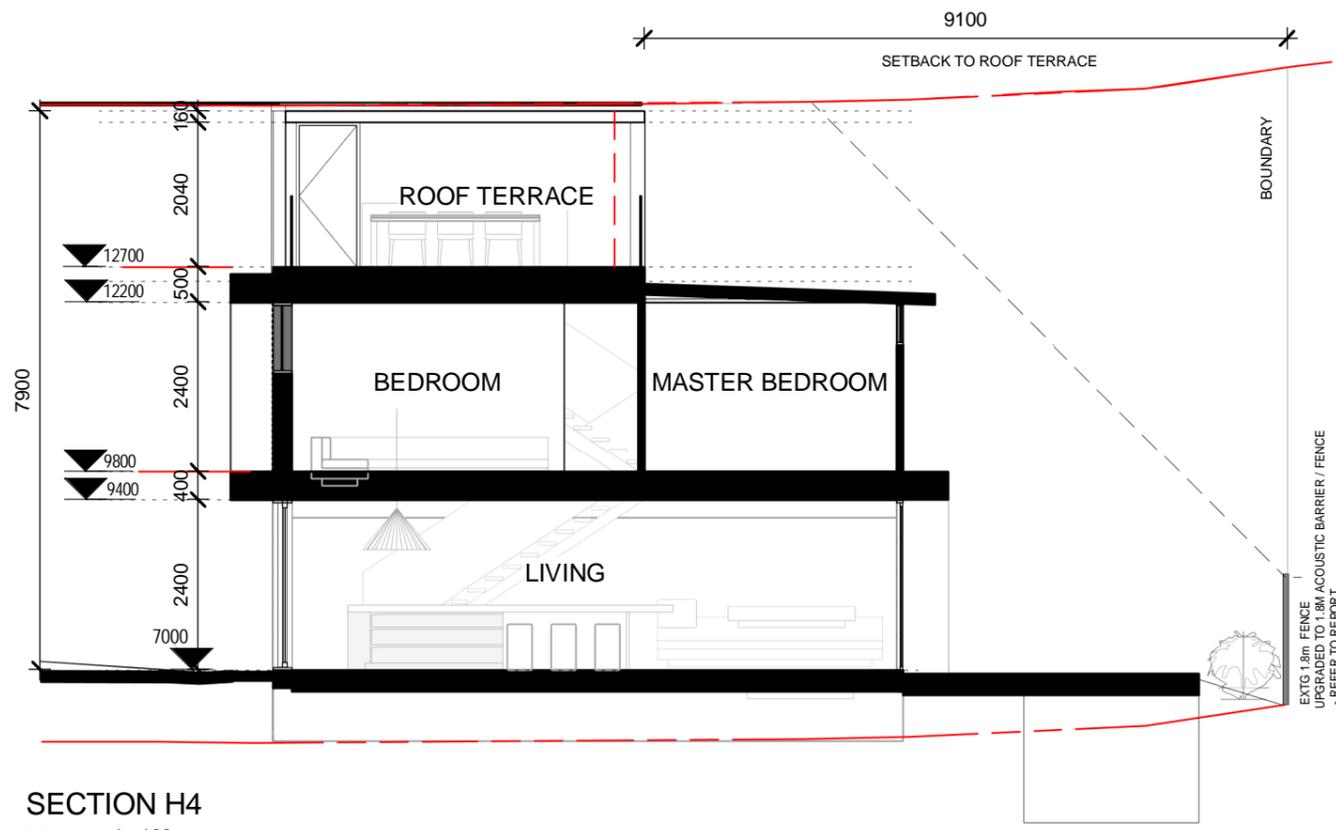


SECTION H2  
SCALE: 1 : 100

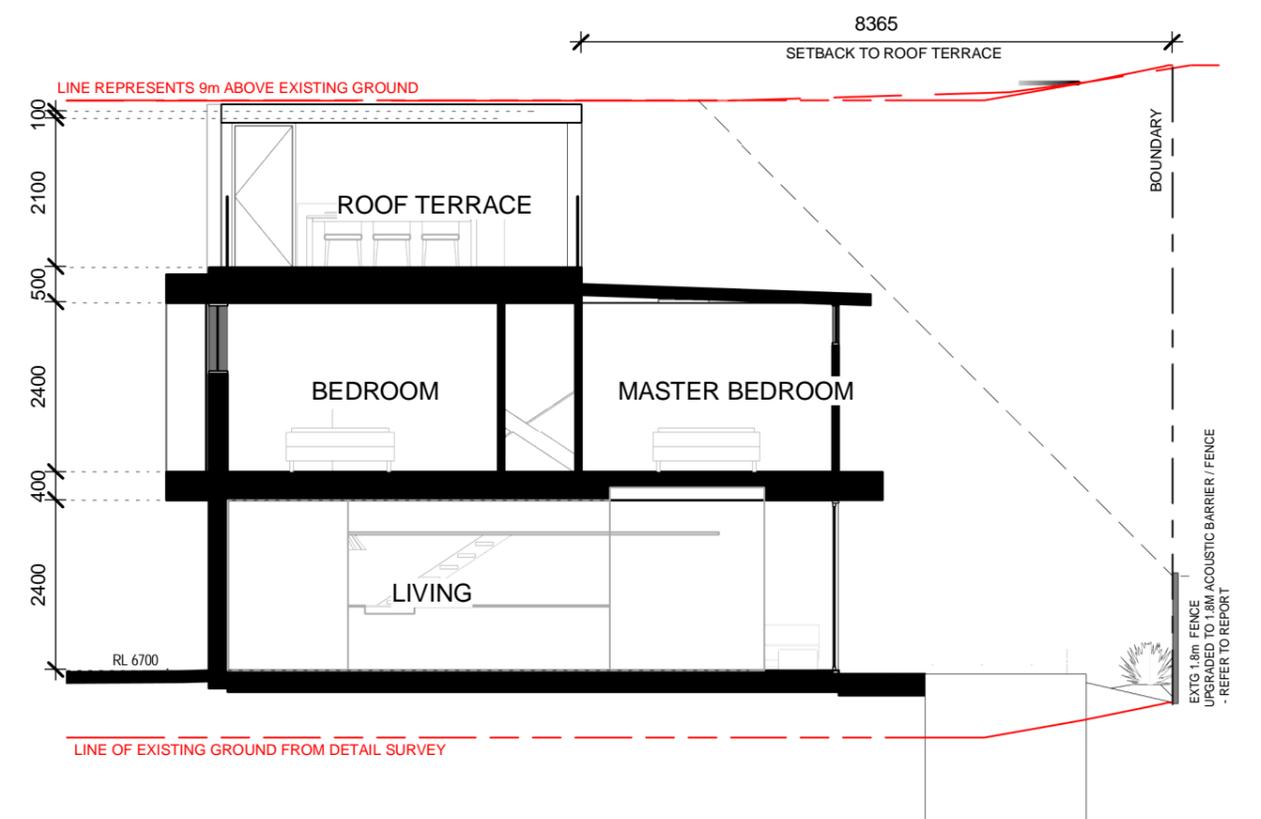


SECTION H3  
SCALE: 1 : 100

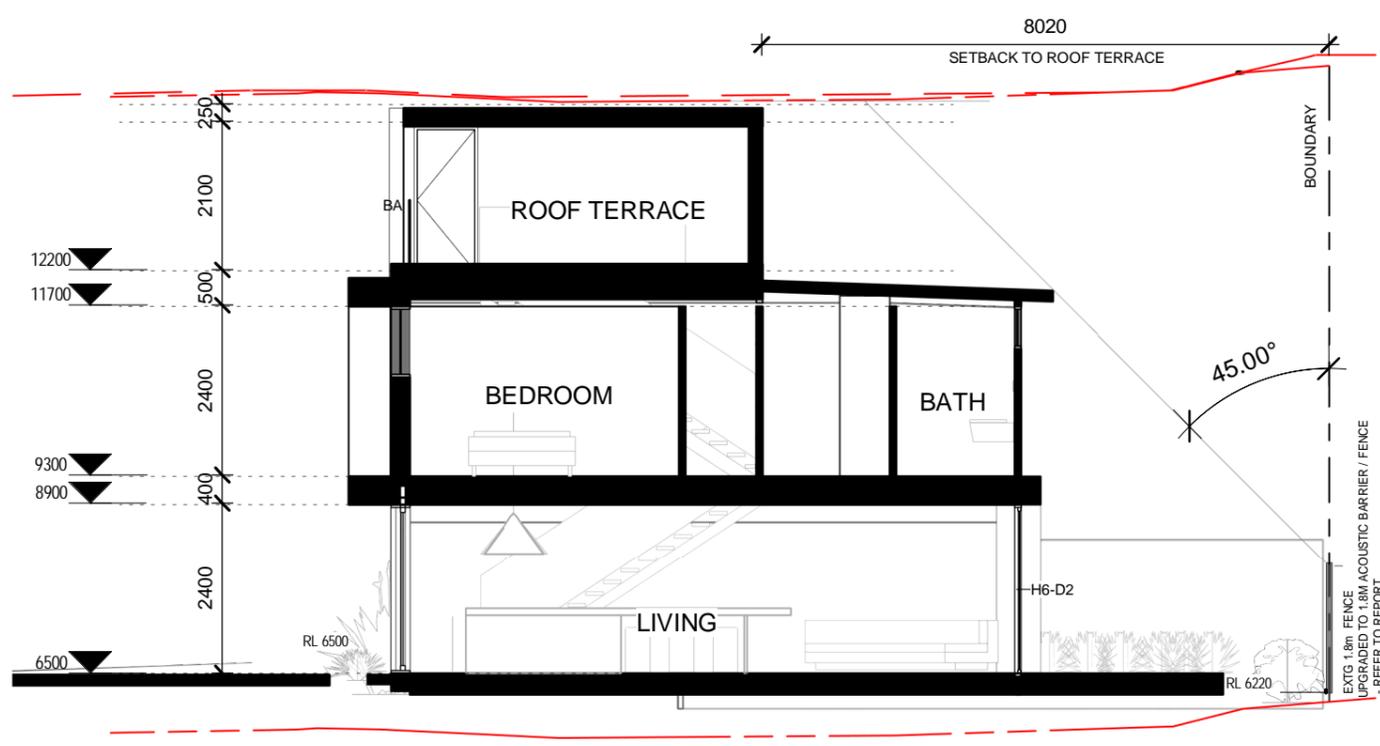




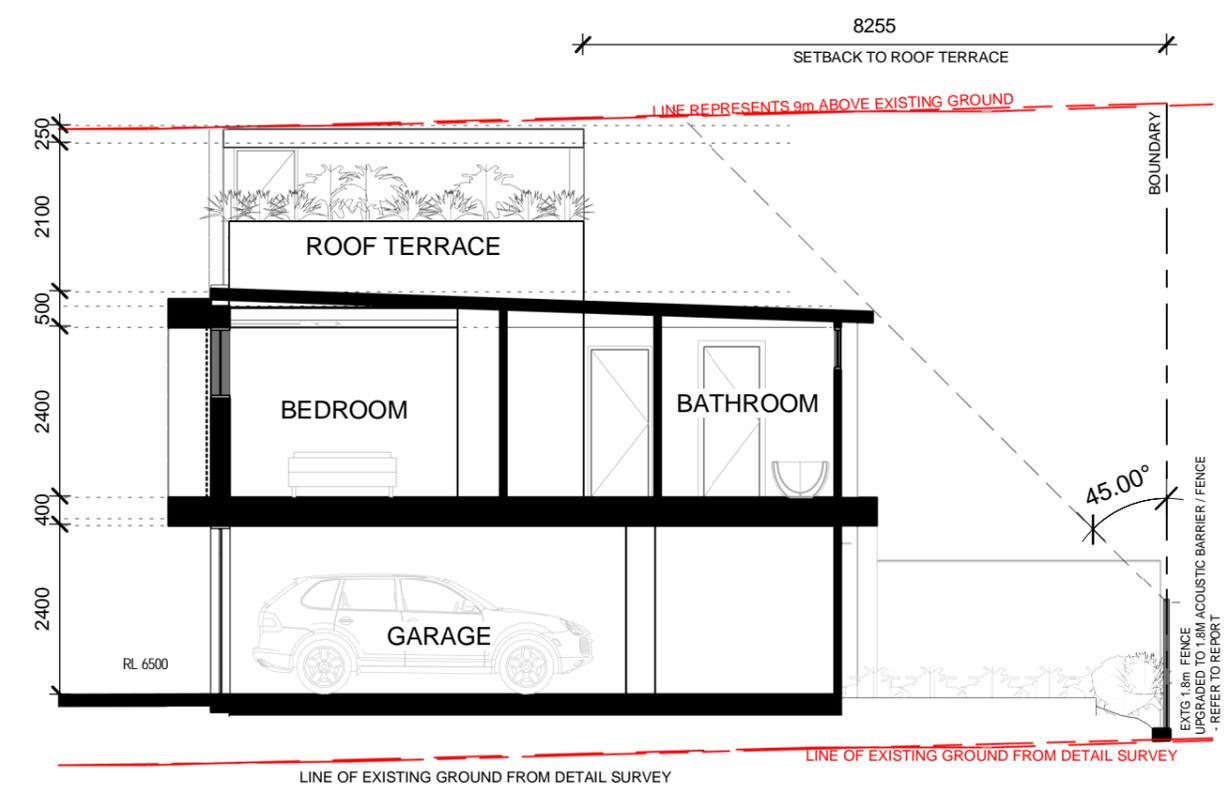
SECTION H4  
SCALE: 1 : 100



SECTION H5  
SCALE: 1 : 100

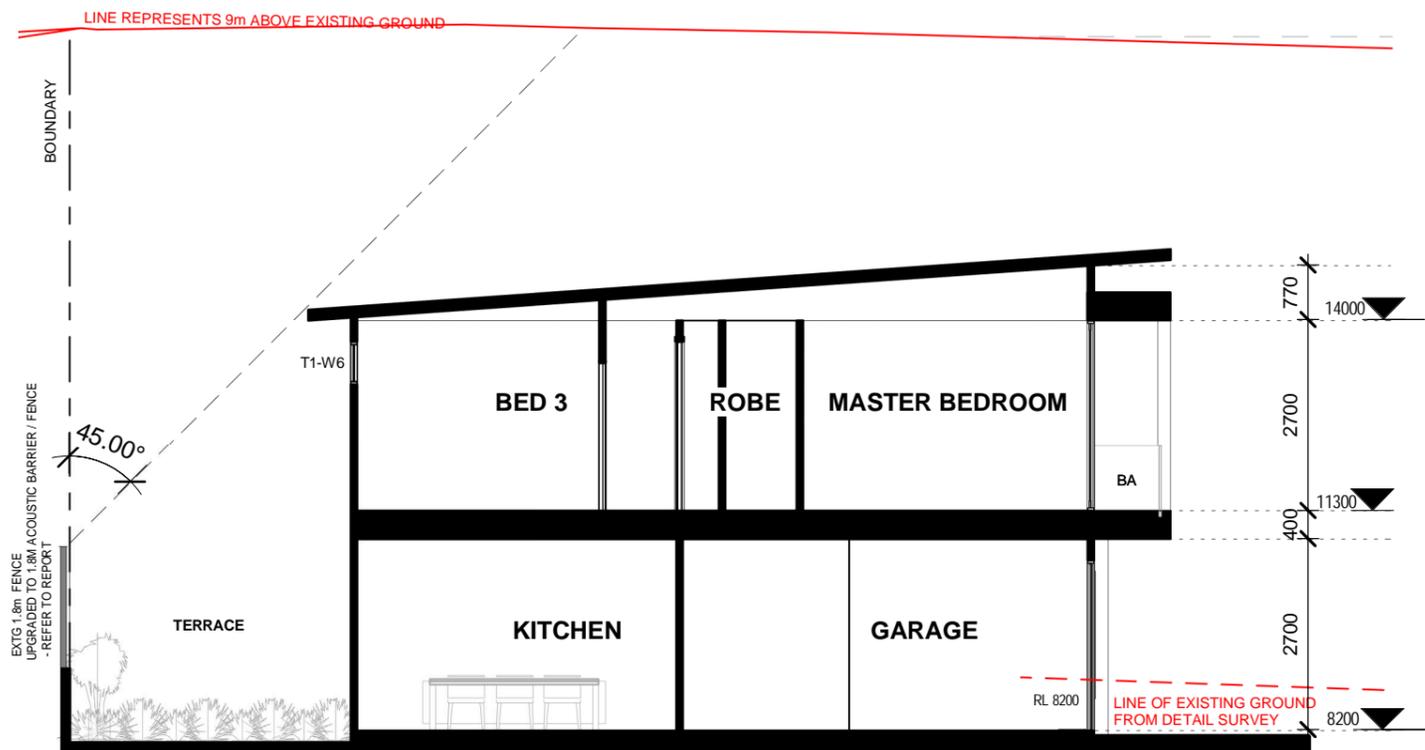


SECTION H6  
SCALE: 1 : 100

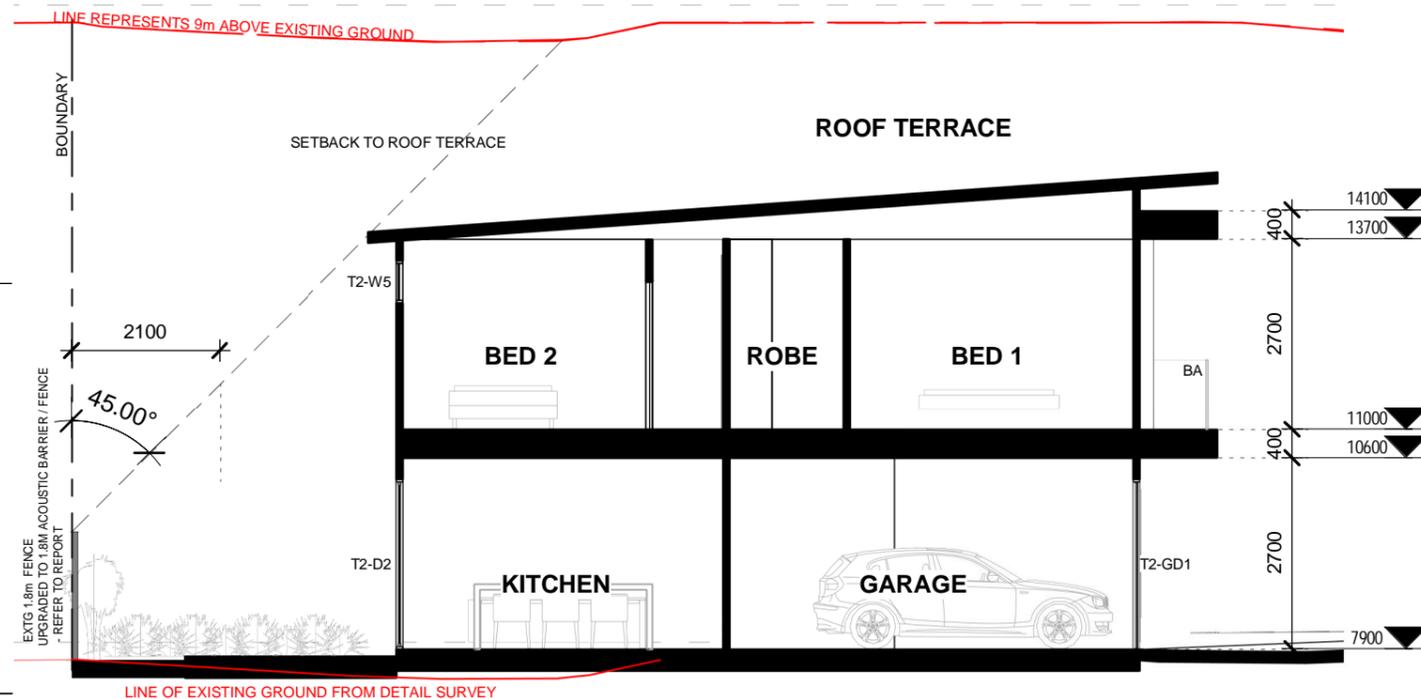


SECTION H7  
SCALE: 1 : 100

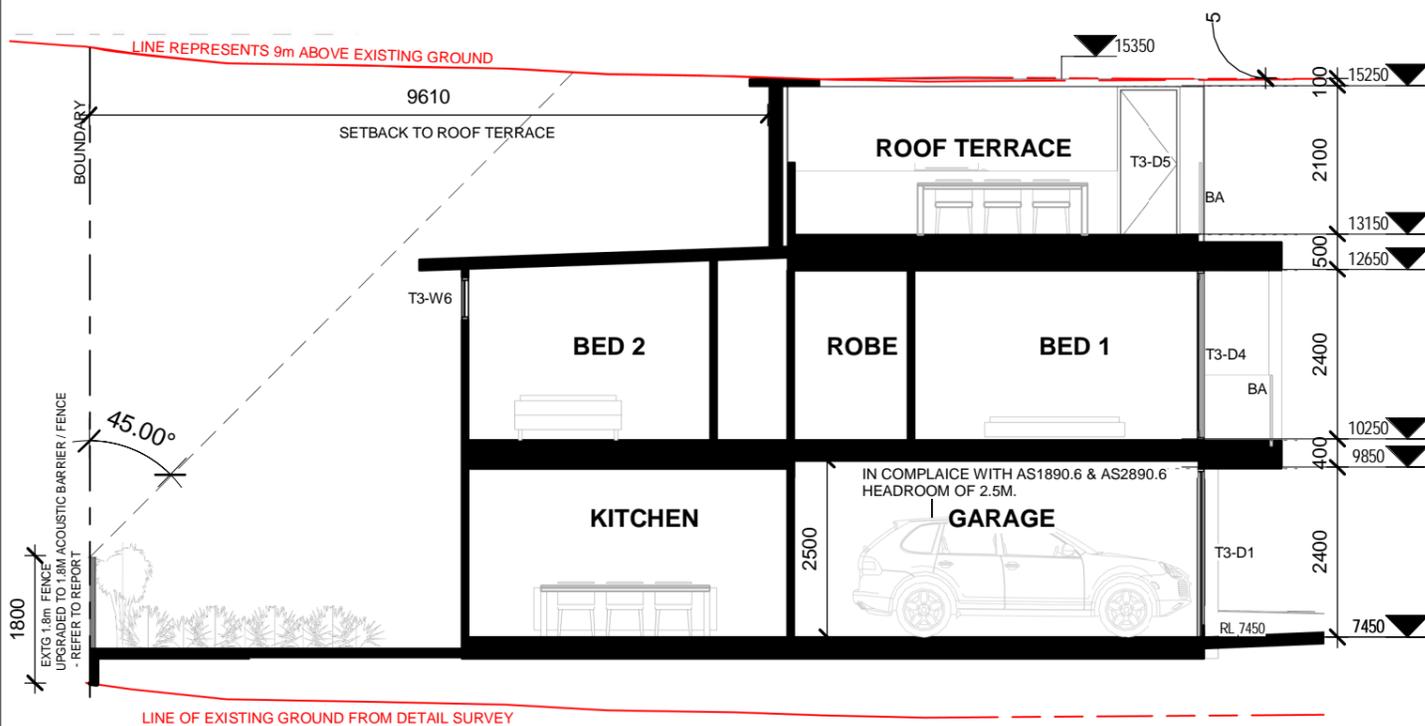




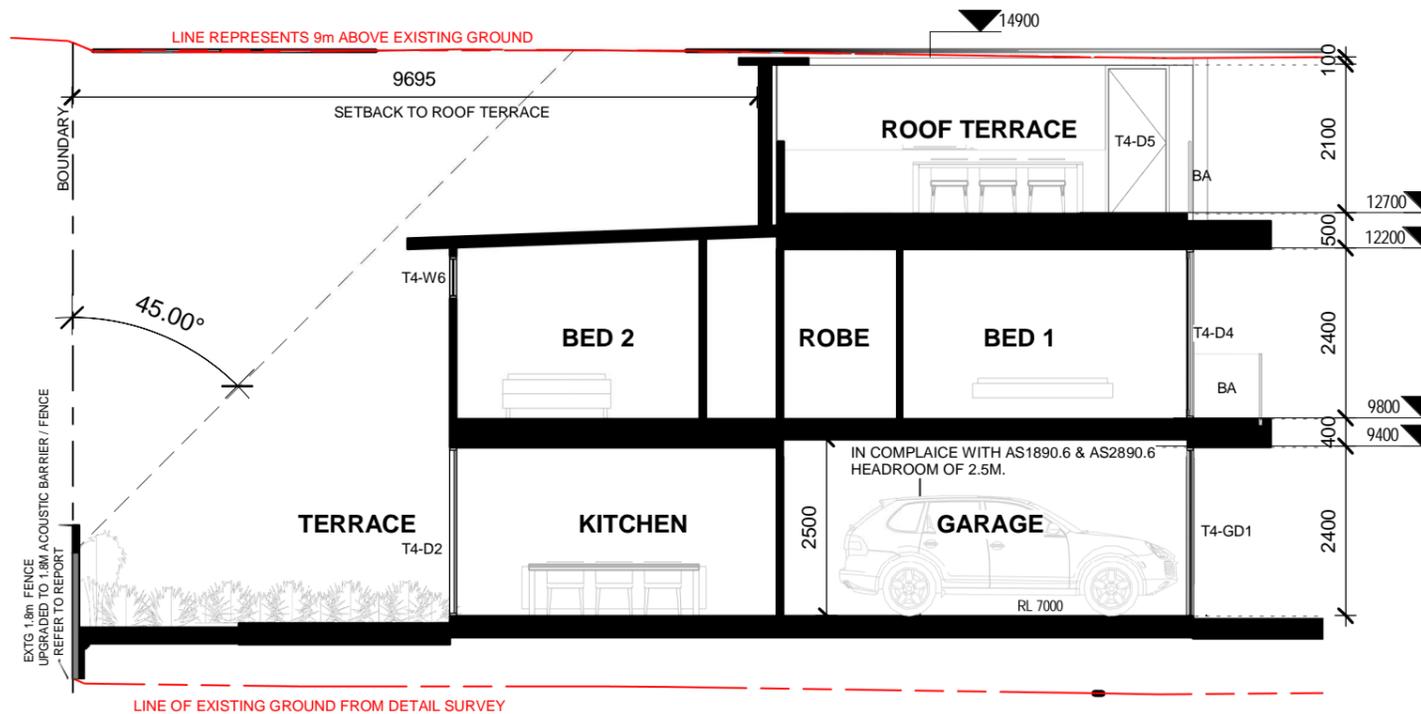
SECTION T1  
SCALE: 1 : 100



SECTION T2  
SCALE: 1 : 100

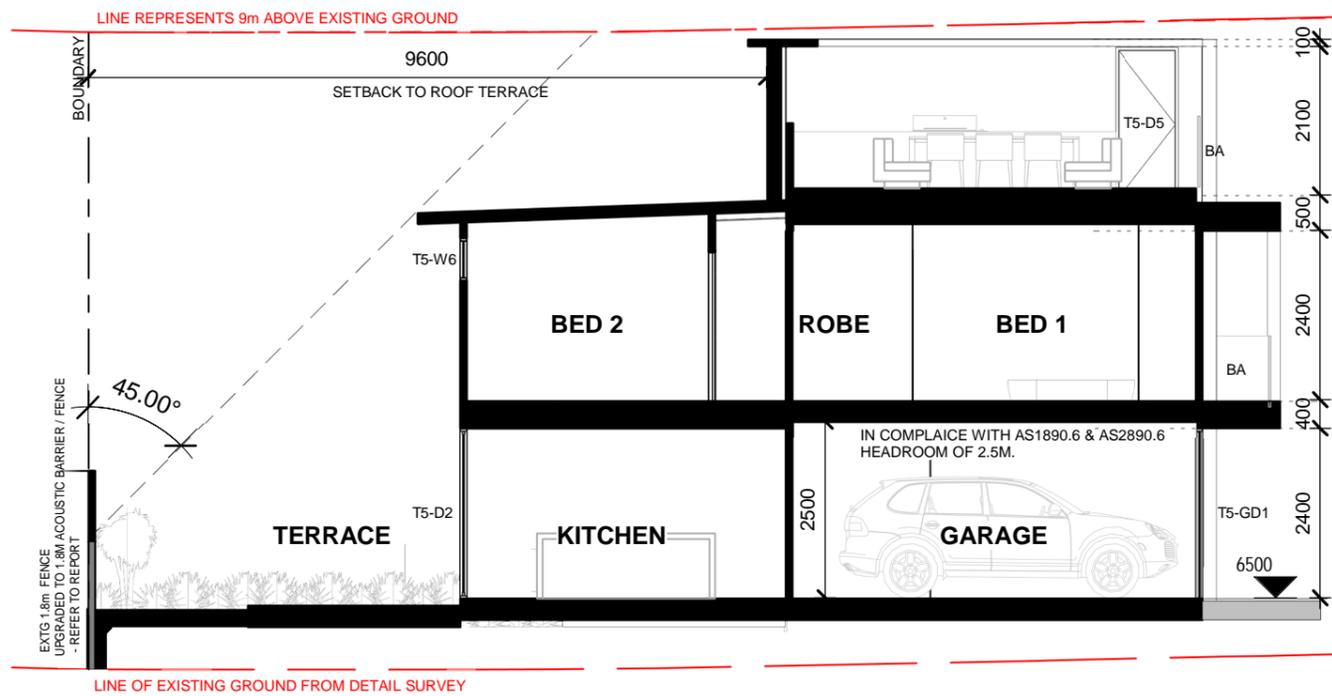


SECTION T3  
SCALE: 1 : 100



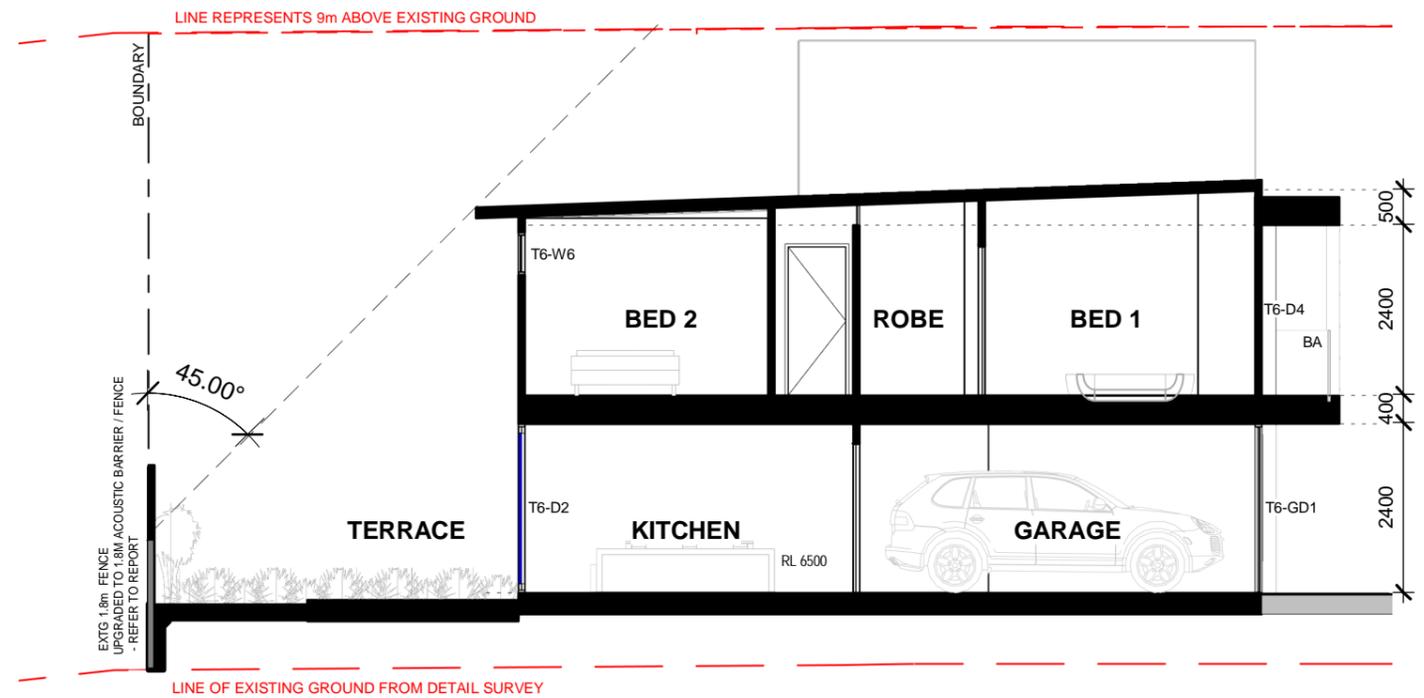
SECTION T4  
SCALE: 1 : 100





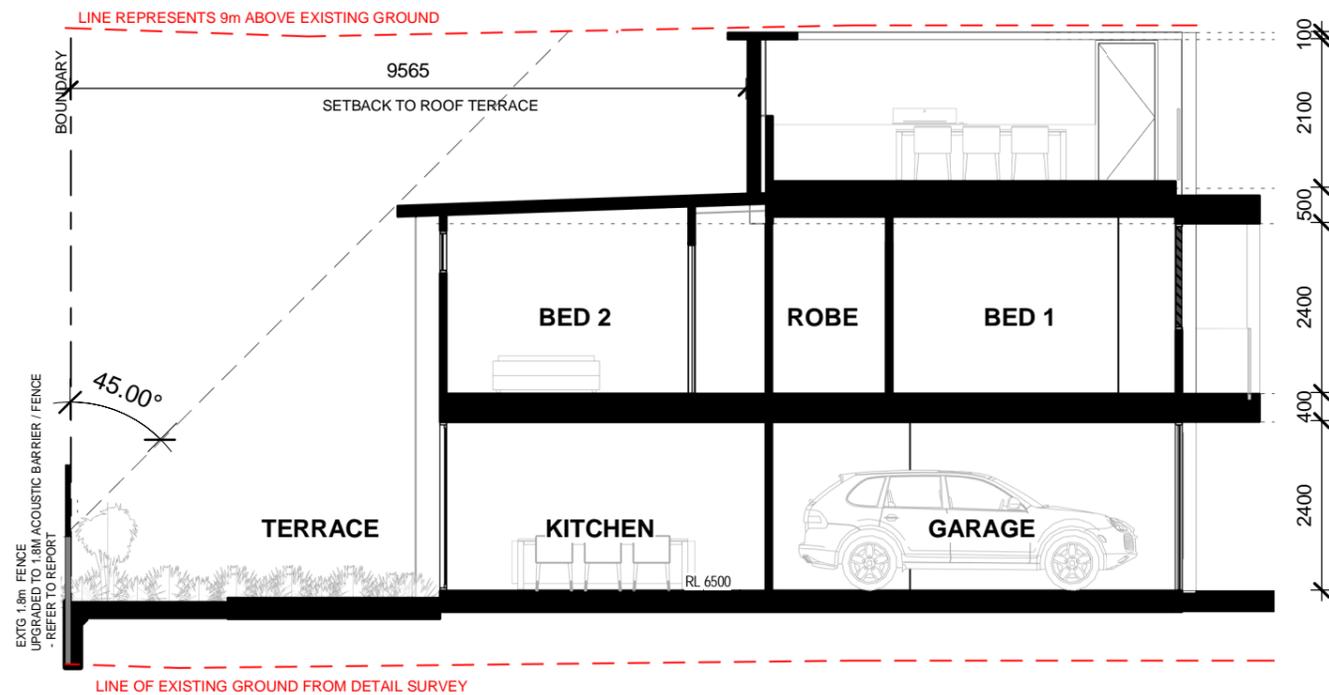
**SECTION T5**

SCALE: 1 : 100



**SECTION T6**

SCALE: 1 : 100



**SECTION T7**

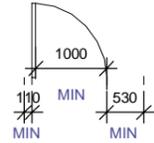
SCALE: 1 : 100



**ADAPTABLE HOUSING:**

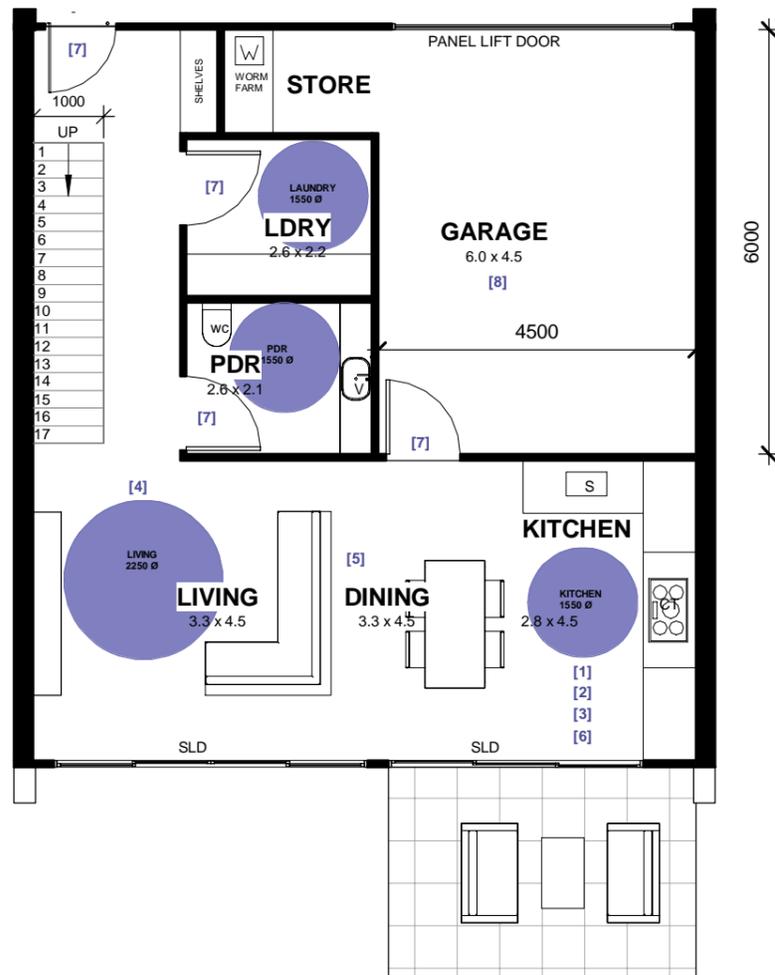
- [1] - 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [2] - THE KITCHEN SHOULD BE DESIGNED WITH MINIMUM OF 2.7 BETWEEN ANY FACING WALLS
- [3] - PROVISION FOR ENTIRE KITCHEN BENCH TO DROP & SINK CUPBOARD BE CHANGED AS PER ADAPTABLE REQUIREMENTS
- [4] - 2.25 DIAMTER CIRCULATION SPACE FOR LIVING
- [5] - ALLOW FOR LIGHTING TO MIN ILLUMINATION LEVEL 300LUX IN LIVING / DINING
- [6] - SLIP RESISTANT FLOOR SURFACES PROVIDED 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [7] - DOORWAY TO AS1428.1:2009  
RAMP MAX 1:40 SLOPE TO DOORWAY THRESHOLDS  
ENTRY LIGHTING TO COMPLY WITH AUSTRALIAN STANDARD
- [8] - THE RECOMMENDED INTERNAL WIDTH OF A CARPORT OR GARAGE IS 3.8M WITH A CEILING HEIGHT OF 2.5M AND AN INTERNAL LENGTH OF 6M THROUGHOUT - COMPLIANCE WITH AS2890.6 / AS4299

[7] DOORS TO AS 1428.1:2009



**SITE AND HOUSE IN GENERAL:**

- SLIP RESISTANT FLOOR SURFACES REQUIRED
- WINDOW AND DOOR TYPES , LOCKS AND HINGES TO COMPLY WITH AUSTRALIAN STANDARD
- CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM STREET FRONTAGE  
LETTERBOX / BIN TO BE ON HARD STANDING AREA CONNECTED TO PATHWAY
- CAR PARK TO BE 2.4M X 6M WITH PROVISION FOR ENLARGEMENT TO 3.8M WIDE [ NOTED ON SITE PLAN



**TERRACE 3,4 & 5 - GROUND - ADAPTABLE**  
SCALE: 1 : 100

**ADAPTABLE HOUSING:**

- [1] - HALLWAY CLEARANCE TO BE MIN 1m WIDE / STAIRWAY MIN 1M WIDE
- [2] - 2.4 x 2.4 PROVISION FOR ADAPTABLE BATHROOM
- [3] - 2.07 X 1.55 MINIMUM UNOBSTRUCTED AREA, FREE OF FURNITURE
- [4] - DOORS AS AS1428.1:2009

**HOUSE IN GENERAL:**

- ELECTRICIAN TO ALLOW FOR DOUBLE GPO & PHONE OUTLET TO BEDSIDE



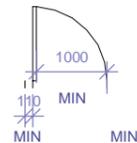
**TERRACE 3,4 & 5 - UPPER - ADAPTABLE**  
SCALE: 1 : 100



**ADAPTABLE HOUSING:**

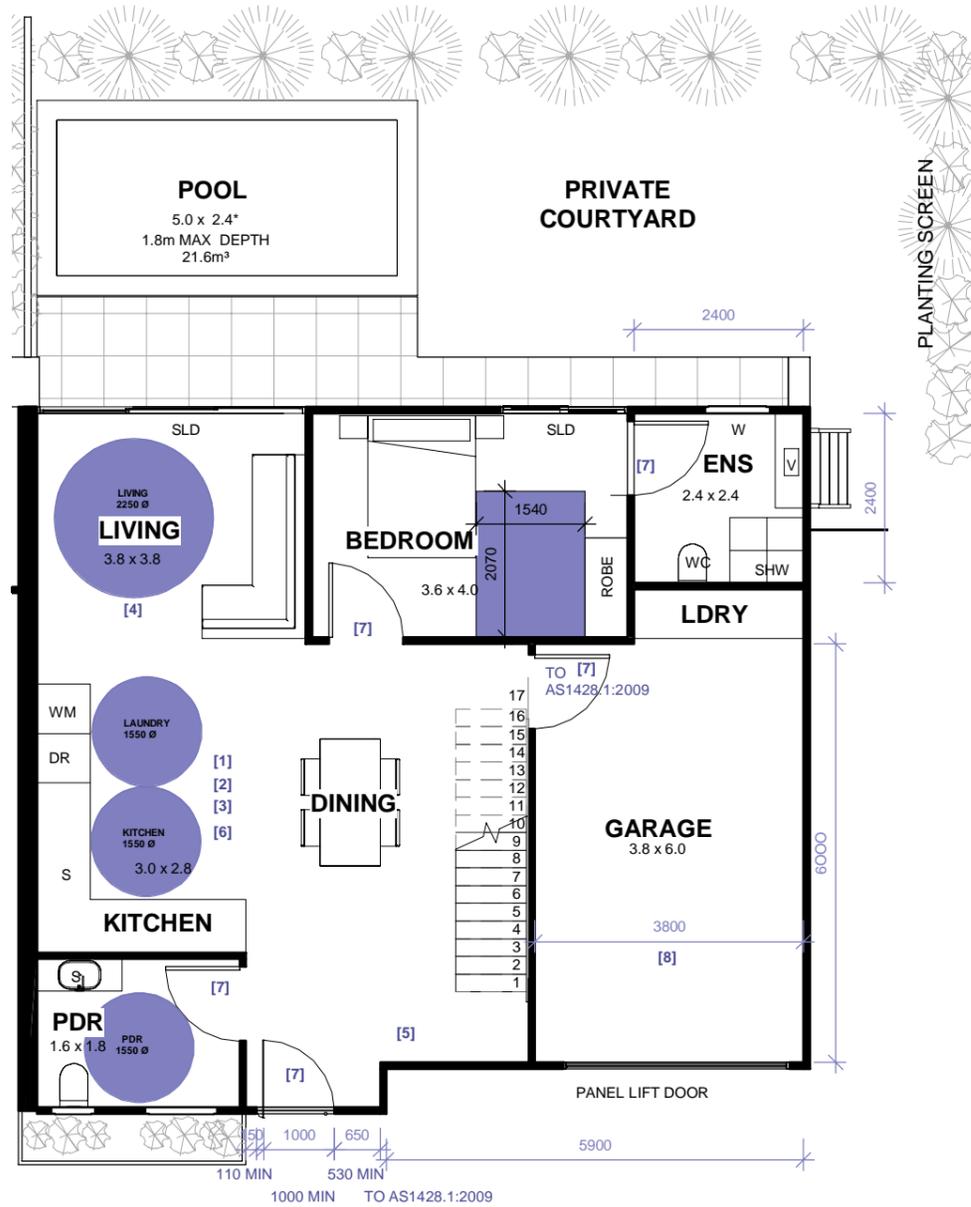
- [1] - 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [2] - THE KITCHEN SHOULD BE DESIGNED WITH MINIMUM OF 2.7 BETWEEN ANY FACING WALLS
- [3] - PROVISION FOR ENTIRE KITCHEN BENCH TO DROP & SINK CUPBOARD BE CHANGED AS PER ADAPTABLE REQUIREMENTS
- [4] - 2.25 DIAMTER CIRCULATION SPACE FOR LIVING
- [5] - ALLOW FOR LIGHTING TO MIN ILLUMINATION LEVEL 300LUX IN LIVING / DINING
- [6] - SLIP RESISTANT FLOOR SURFACES PROVIDED 1550mm BETWEEN OPPOSING FACES OF CUPBOARDS
- [7] - DOORWAY TO AS1428.1:2009  
RAMP MAX 1:40 SLOPE TO DOORWAY THRESHOLDS  
ENTRY LIGHTING TO COMPLY WITH AUSTRALIAN STANDARD
- [8] - THE RECOMMENDED INTERNAL WIDTH OF A CARPORT OR GARAGE IS 3.8M WITH A CEILING HEIGHT OF 2.5M AND AN INTERNAL LENGTH OF 6M THROUGHOUT - COMPLIANCE WITH AS2890.6 / AS4299

[7] DOORS TO AS 1428.1:2009



**SITE AND HOUSE IN GENERAL:**

- SLIP RESISTANT FLOOR SURFACES REQUIRED
- WINDOW AND DOOR TYPES, LOCKS AND HINGES TO COMPLY WITH AUSTRALIAN STANDARD
- CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM STREET FRONTAGE  
LETTERBOX / BIN TO BE ON HARD STANDING AREA CONNECTED TO PATHWAY
- CAR PARK TO BE 2.4M X 6M WITH PROVISION FOR ENLARGEMENT TO 3.8M WIDE [ NOTED ON SITE PLAN



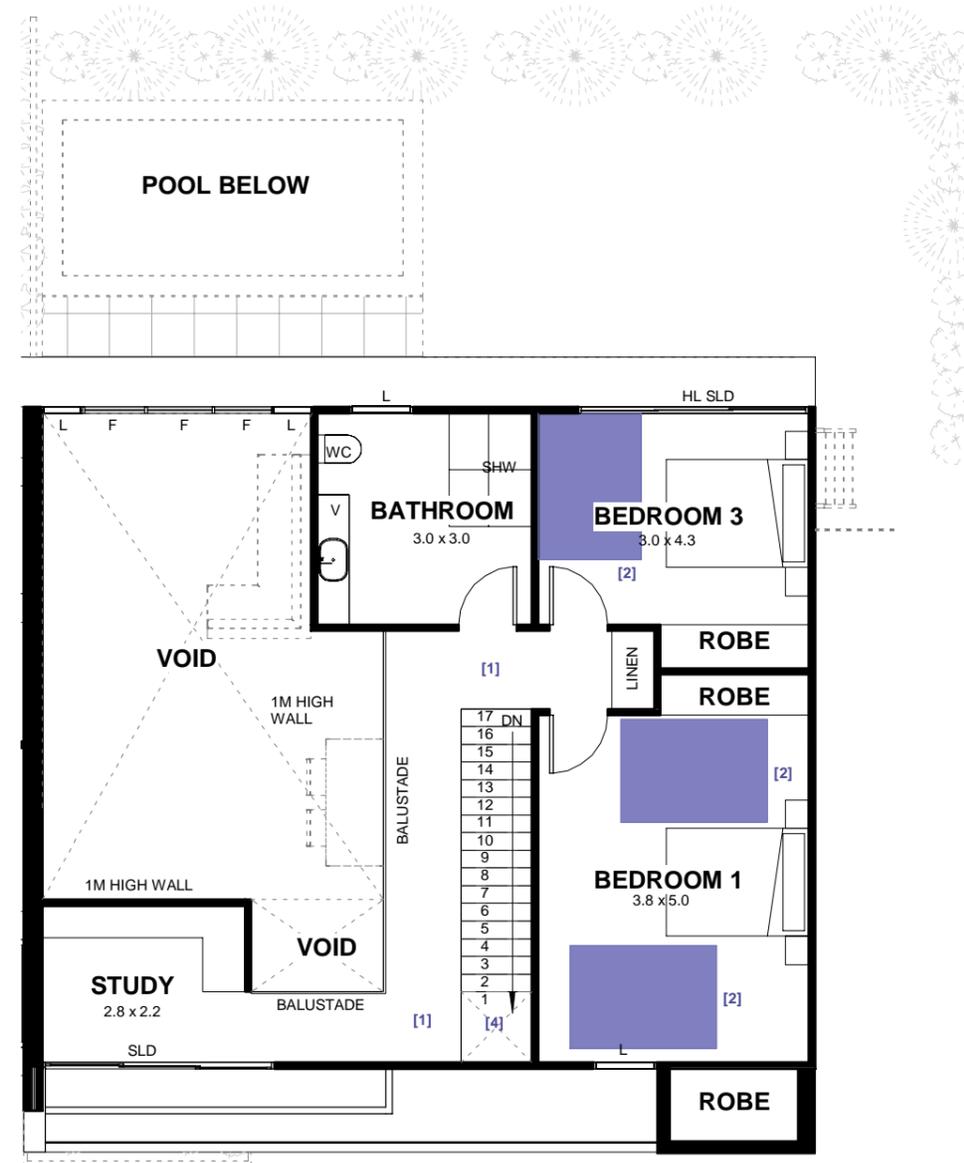
**H3 - GROUND FLOOR - ADAPTABLE HOUSING**  
SCALE: 1 : 100

**ADAPTABLE HOUSING:**

- [1] - HALLWAY CLEARANCE TO BE MIN 1m WIDE
- [2] - 2.07 X 1.55 MINIMUM UNOBSTRUCTED AREA, FREE OF FURNITURE
- [3] - STAIRWAY MIN 1M WIDE

**HOUSE IN GENERAL:**

- ELECTRICIAN TO ALLOW FOR DOUBLE GPO & PHONE OUTLET TO BEDSIDE



**H3 - LEVEL 1 ADAPTABLE HOUSING**  
SCALE: 1 : 100

